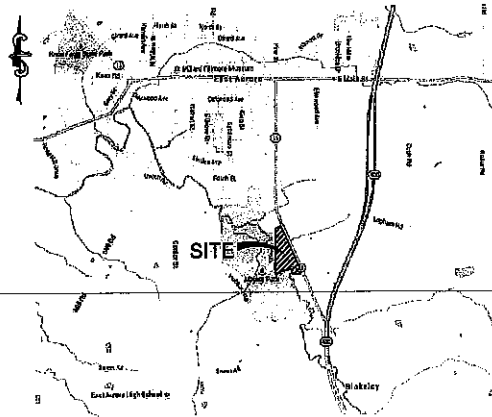


WEST HERR PROPERTIES EA, LLC PROPOSED STORAGE PARKING LOT

591 OLEAN ROAD
TOWN OF AURORA, ERIE COUNTY
STATE OF NEW YORK
SEPTEMBER, 2015



LOCATION MAP

LIST OF DRAWINGS	
DWG	TITLE
1	COVER SHEET
2	EXISTING CONDITIONS AND DEMOLITION PLAN
3	PAVING, GRADING & DRAINAGE PLAN
4	EROSION & SEDIMENT CONTROL PLAN
5	EROSION & SEDIMENT CONTROL DETAILS
6	SITE DETAILS
7	LANDSCAPE PLAN
8	LIGHTING PLAN

PROGRESS
DRAWINGS
09-30-15

NUSSBALMER & CLARKE, INC.
A CORPORATION REGISTERED TO PRACTICE
PROFESSIONAL ENGINEERING & LAND SURVEYING
IN THE STATE OF NEW YORK
CERTIFICATE NO. _____

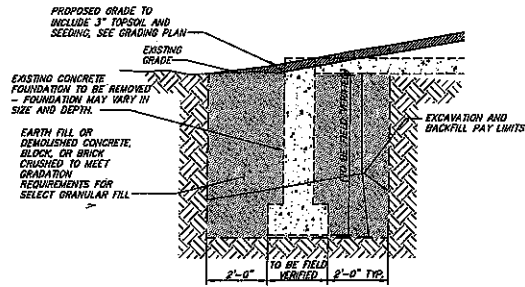


3886 LAKE SHORE ROAD
BUFFALO, NY 14215-1494
(716) 827-8000 PHONE
(716) 826-7888 FAX

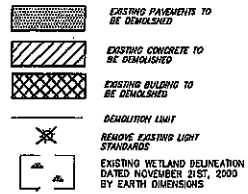
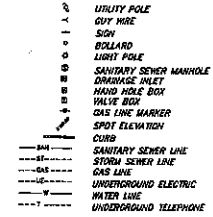
ENGINEERS AND SURVEYORS

DEMOLITION NOTES

1. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO PREPARING A BID PROPOSAL IN ORDER TO VERIFY THE LOCATIONS OF EXISTING UTILITIES, THE GRADING OF THE SITE, THE ITEMS TO BE REMOVED WITHIN THE EXISTING BUILDINGS, THE EXISTING WATER, SEWER, GAS AND ELECTRICAL SERVICES TO BE DISCONNECTED, AND TO BECOME FAMILIAR WITH EXISTING CONDITIONS.
2. THE CONTRACTOR SHALL PERFORM ALL WORK WITH CARE SO THAT ANY PLANTS AND MATERIALS WHICH ARE TO REMAIN IN PLACE OR ARE TO REMAIN THE PROPERTY OF THE OWNER WILL NOT BE DAMAGED. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY DAMAGED PLANTS OR MATERIALS IN A MANNER SATISFACTORY TO THE OWNER, AT THE EXPENSE OF THE CONTRACTOR.
3. AREAS DISTURBED OUTSIDE OF THE WORK LIMITS ARE TO BE RESTORED, AS REQUIRED, TO THE SATISFACTION OF THE OWNER, AT THE EXPENSE OF THE CONTRACTOR.
4. ALL ABANDONED MATERIALS AND ITEMS IN AND AROUND THE BUILDINGS THAT ARE NOT CLAIMED BY THE OWNER SHALL BE REMOVED AND LEGALLY DISPOSED OF OFF-SITE BY THE CONTRACTOR.
5. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO SECURE A DISPOSAL SITE. ALL COSTS ASSOCIATED WITH DISPOSAL INCLUDING PERMITTING, TRANSPORTATION TO SITE ETC. SHALL BE INCLUDED IN THE BASE BID AMOUNT.
6. IT IS THE CONTRACTOR'S OPTION TO CRUSH ANY CAST-IN-PLACE CONCRETE, CONCRETE BLOCK AND BRICK FROM THE EXISTING BUILDINGS IN ACCORDANCE WITH THE GRADATION REQUIREMENTS FOR SELECT GRANULAR FILL AS SPECIFIED IN SPECIFICATION SECTION 02200, IN LIEU OF DISPOSING OF THE DEMOLISHED MATERIALS AND PROVIDING NEW EARTH FILL. NO WOOD, METAL OR OTHER DEMOLISHED MATERIALS MAY BE USED AS BACKFILL FOR THIS PROJECT.
7. ALL WORK ON THIS PROJECT IS TO BE CONDUCTED WITHIN THE PROPERTY BOUNDARY. ANY DAMAGE CREATED BY THE CONTRACTOR OR THE CONTRACTOR'S REPRESENTATIVE OUTSIDE THE PROPERTY BOUNDARY SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT NO ADDITIONAL EXPENSE TO THE OWNER.
8. ALL COSTS ASSOCIATED WITH DISCONNECTION OF GAS, ELECTRICAL, WATER AND SEWER SERVICES TO THE BUILDINGS SHALL BE PAID FOR BY THE CONTRACTOR AND INCLUDED IN THE BASE BID.
9. ALL ELECTRICAL WORK TO BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR.
10. EXISTING WATER SERVICE (¾" OR 1") TO BE CRIMPED AND ABANDONED IN PLACE PER ECMA REQUIREMENTS.
11. REMOVAL OF THE EXISTING LIGHT STANDARDS AS INDICATE ON THE PLAN WILL INCLUDE THE REMOVAL OF THE CONCRETE BASE AND THE BACKFILLING TO THE BOTTOM OF THE PROPOSED PAVEMENTS BASE COURSE.
12. REMOVAL OF THE EXISTING LANDSCAPE ISLANDS WILL INCLUDE THE CONC. CURBS, SOIL TO A DEPTH EQUAL TO THE BOTTOM OF THE NEW PAVEMENT BASE COURSE AND ALL PLANTINGS, INCLUDING TREES.
13. THE EXISTING DEALERSHIP STRUCTURE WILL REMAIN IN OPERATION DURING CONSTRUCTION, THEREFORE ALL UTILITIES SERVICING THE STRUCTURE WILL REMAIN IN SERVICE.
13. THE CONTRACTOR SHALL SECURE ALL WORK AREAS DURING NON-WORK HOURS.



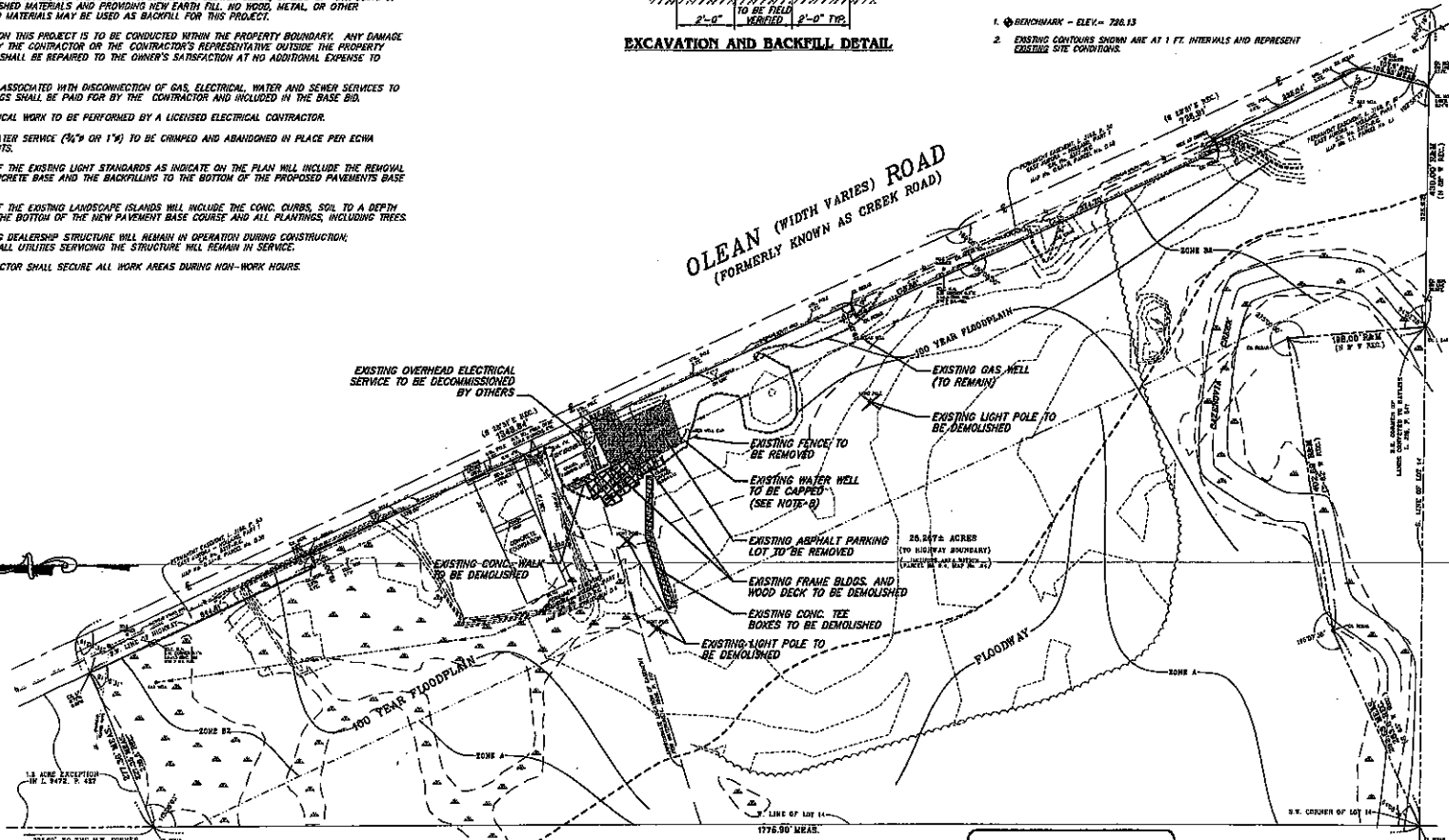
EXCAVATION AND BACKFILL DETAIL



NOTES:

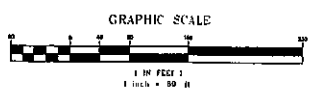
1. BENCHMARK - ELEV. = 728.13
2. EXISTING CONTOURS SHOWN ARE AT 1 FT. INTERVALS AND REPRESENT EXISTING SITE CONDITIONS.

OLEAN (WIDTH VARIES) ROAD
(FORMERLY KNOWN AS CREEK ROAD)



NOTE:
PERMITS SUBJECT TO PERMITTING TO
NEW YORK TELEPHONE, L. 787A, P. 506

**PROGRESS
DRAWINGS
09-30-15**



Kussbaumer & Clarke, Inc.
1000 Lakeshore Plaza, Suite 501, White Plains, NY 10610
914-941-7500
www.kussbaumer.com

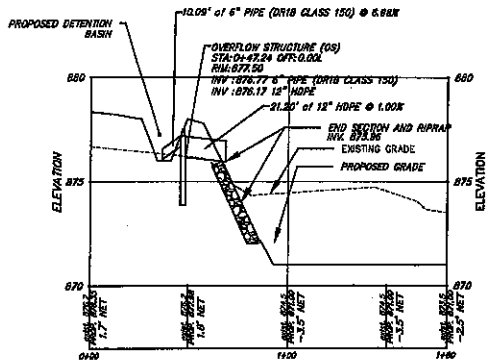
PROPOSED STORAGE PARKING LOT
WEST HERR PROPERTIES EA, LLC
587 OLEAN ROAD, ALBANY, NEW YORK
**EXISTING CONDITIONS AND
DEMOLITION PLAN**

NO.	DATE	DESCRIPTION

KUSSBAUMER & CLARKE, INC.
A CORPORATION REGISTERED TO
PRACTICE PROFESSIONAL ENGINEERING
& LAND SURVEYING IN THE
STATE OF NEW YORK
CERTIFICATE No. _____

UNAUTHORIZED ALTERATION OR
ADDITION TO THIS ENGINEERING
DRAWING IS A VIOLATION OF
SECTION 2309, PARAGRAPH 2 OF THE
NEW YORK STATE EDUCATION LAW.

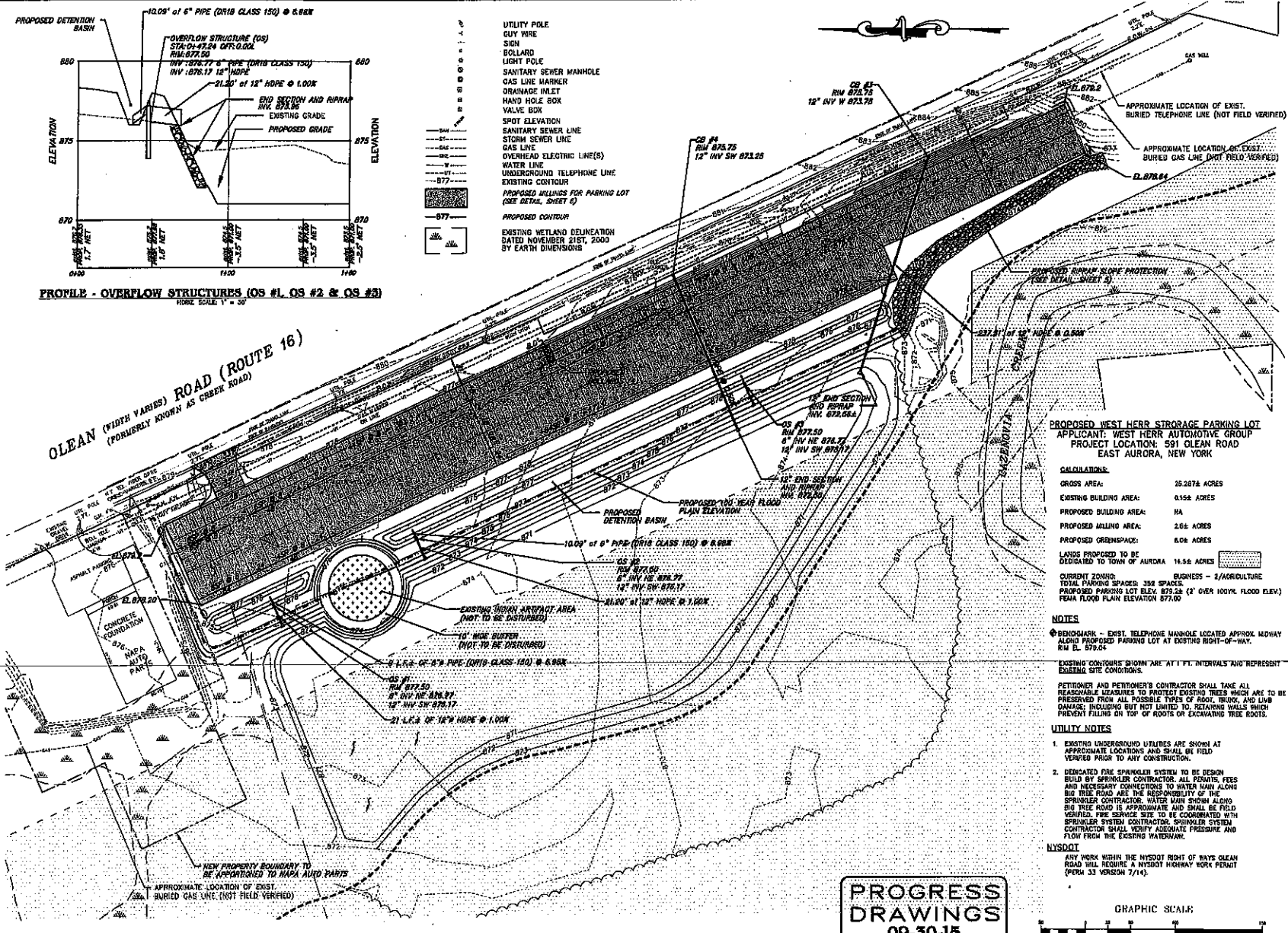
PROJECT NUMBER 1435-0047
DATE 09-30-15
DRAWN BY JTB
DESIGNED BY AHC
CHECKED BY RP
APPROVED BY RP
SCALE 1" = 50'
DRAWING No. 2 OF 8



PROFILE - OVERFLOW STRUCTURES (OS #1, OS #2 & OS #3)
 HORIZONTAL SCALE 1" = 50'

- UTILITY POLE
- GUY WIRE
- SIGN
- BOLLARD
- LIGHT POLE
- SANITARY SEWER MANHOLE
- GAS LINE MARKER
- DRAINAGE INLET
- HAND HOLE BOX
- VALVE BOX
- SPOT ELEVATION
- SANITARY SEWER LINE
- STORM SEWER LINE
- GAS LINE
- OVERHEAD TELEPHONE LINE(S)
- WATER LINE
- UNDERGROUND TELEPHONE LINE
- EXISTING CONTOUR
- PROPOSED BOUNDARY FOR PARKING LOT (SEE DETAIL, SHEET 6)
- PROPOSED CONTOUR
- EXISTING WETLAND DEMARCATION DATED NOVEMBER 21ST, 2000 BY EARTH DIMENSIONS

CLEAN (WIDTH VARIES) ROAD (ROUTE 16)
 (FORMERLY KNOWN AS GREER ROAD)



PROPOSED WEST HERR STORAGE PARKING LOT
 APPLICANT: WEST HERR AUTOMOTIVE GROUP
 PROJECT LOCATION: 591 CLEAN ROAD
 EAST AURORA, NEW YORK

CALCULATIONS:

GROSS AREA:	28.2874 ACRES
EXISTING BUILDING AREA:	0.166 ACRES
PROPOSED BUILDING AREA:	NA
PROPOSED PAVING AREA:	2.66 ACRES
PROPOSED GREENSPACE:	0.08 ACRES
LANDS PROPOSED TO BE DEDICATED TO TOWN OF AURORA:	14.56 ACRES

CURRENT ZONING: BUSINESS - 2/AORICULTURE
TOTAL PARKING SPACES: 358 SPACES
PROPOSED PARKING LOT ELEV. 879.24 (2' OVER 100% FLOOD ELEV.)
FEMA FLOOD PLAN ELEVATION 877.00

NOTES
 1. BENCHMARK - EXIST. TELEPHONE MANHOLE LOCATED APPROX. MIDWAY ALONG PROPOSED PARKING LOT AT EXISTING RIGHT-OF-WAY. RIM EL. 879.64

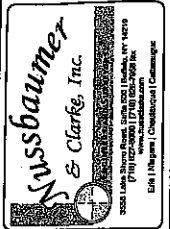
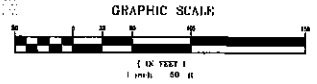
EXISTING CONTOURS SHOWN ARE AT 1' FT. INTERVALS AND REPRESENT EXISTING SITE CONDITIONS.

PETITIONER AND PETITIONER'S CONTRACTOR SHALL TAKE ALL REASONABLE MEASURES TO PROTECT EXISTING TREES WHICH ARE TO BE PRESERVED FROM ALL POSSIBLE TYPES OF ROOT, TRUNK, AND LIMB DAMAGE INCLUDING BUT NOT LIMITED TO, RETAINING WALLS WHICH PREVENT FALLING ON TOP OF ROOTS OR EXCAVATING TREE ROOTS.

- UTILITY NOTES**
- EXISTING UNDERGROUND UTILITIES ARE SHOWN AT APPROXIMATE LOCATIONS AND SHALL BE FIELD VERIFIED PRIOR TO ANY CONSTRUCTION.
 - DEDICATED FIRE SPRINKLER SYSTEM TO BE DESIGNED BY SPRINKLER CONTRACTOR. ALL PERMITS, FEES AND NECESSARY CONNECTIONS TO WATER MAIN ALONG BIG TREE ROAD ARE THE RESPONSIBILITY OF THE SPRINKLER CONTRACTOR. WATER MAIN SHALL BE 8" DIA. AND APPROXIMATE AND SHALL BE FIELD VERIFIED. FIRE SERVICE SIZE TO BE COORDINATED WITH SPRINKLER SYSTEM CONTRACTOR. SPRINKLER SYSTEM CONTRACTOR SHALL VERIFY ADEQUATE PRESSURE AND FLOW FROM THE EXISTING WATERMAIN.

NYSDOT
 ANY WORK WITHIN THE NYSDOT RIGHT OF WAY CLEAN ROAD WILL REQUIRE A NYSDOT HIGHWAY WORK PERMIT (FORM 33 VERSION 7/14).

PROGRESS DRAWINGS
 09-30-15



PROPOSED STORAGE PARKING LOT
 WEST HERR PROPERTIES EA, LLC
 591 CLEAN ROAD, AURORA, NEW YORK

GRADING, PAVING AND DRAINAGE PLAN

DATE	
REVISION	
DESCRIPTION	
BY	
CHECKED	
DATE	

MESSBAUER & CLARKE, INC.
 A CORPORATION REGISTERED TO PRACTICE PROFESSIONAL ENGINEERING AND LAND SURVEYING IN THE STATE OF NEW YORK

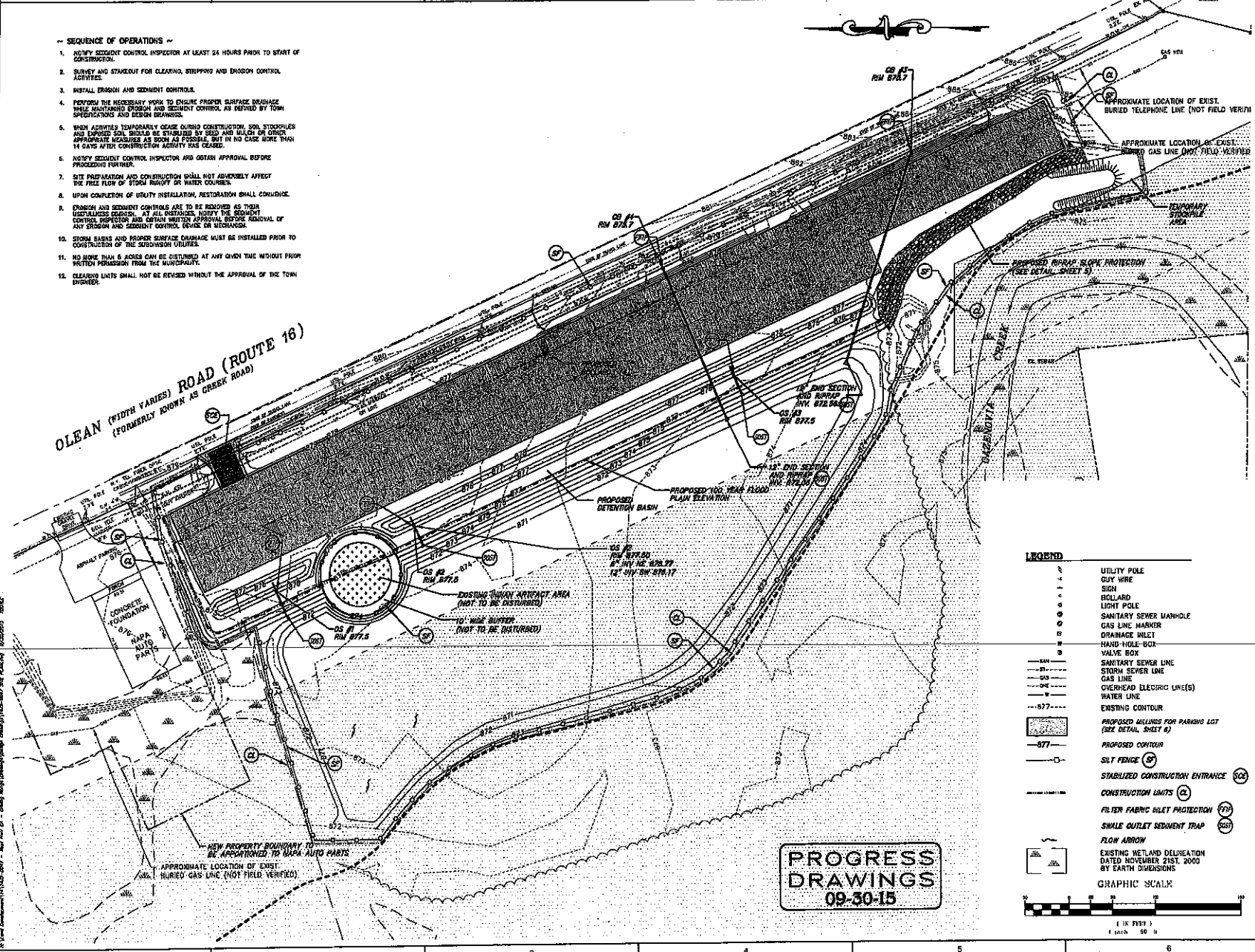
CERTIFICATE No. _____
 UNAUTHORIZED ALTERATION OR ADDITION TO THIS ENGINEERING DRAWING IS A VIOLATION OF SECTION 7209 PROVISION 2 OF THE NEW YORK STATE ENGINEERING LAW.

PROJECT NUMBER	14150047
DATE	09-30-15
DRAWN BY	TJD
DESIGNED BY	AHJ
CHECKED BY	RP
APPROVED BY	KG
SCALE	1" = 50'
DRAWING No.	3 OF 6

SEQUENCE OF OPERATIONS ~

1. NOTIFY SEDIMENT CONTROL INSPECTOR AT LEAST 24 HOURS PRIOR TO START OF CONSTRUCTION.
2. SURVEY AND STAKEOUT FOR CLEARING, STRIPPING AND EROSION CONTROL ACTIVITIES.
3. INSTALL EROSION AND SEDIMENT CONTROLS.
4. PERFORM THE NECESSARY WORK TO ENSURE PROPER SURFACE DRAINAGE WHILE MAINTAINING EROSION AND SEDIMENT CONTROL, AS DERIVED BY TOWN SPECIFICATIONS AND DESIGN DRAWINGS.
5. WHEN ACTIVITIES TEMPORARILY CEASE DURING CONSTRUCTION, SOIL STOCKPILES AND EXPOSED SOIL SHOULD BE STABILIZED BY SEED AND MULCH OR OTHER APPROPRIATE MEASURES AS SOON AS POSSIBLE, BUT IN NO CASE MORE THAN 14 DAYS AFTER CONSTRUCTION ACTIVITY HAS CEASED.
6. NOTIFY SEDIMENT CONTROL INSPECTOR AND OBTAIN APPROVAL BEFORE PROCEEDING FURTHER.
7. SITE PREPARATION AND CONSTRUCTION SHALL NOT ADVERSELY AFFECT THE FREE FLOW OF STORM RUNOFF OR WATER COURSES.
8. UPON COMPLETION OF UTILITY INSTALLATION, RESTORATION SHALL COMMENCE.
9. EROSION AND SEDIMENT CONTROLS ARE TO BE REMOVED AS THEIR USELESSNESS DEMONSTRATES. AT ALL TIMES, NOTIFY THE SEDIMENT CONTROL INSPECTOR AND OBTAIN WRITTEN APPROVAL BEFORE REMOVAL OF ANY EROSION AND SEDIMENT CONTROL DEVICE OR MEASUREMENT.
10. STORM BARRIERS AND PROPER SURFACE DRAINAGE MUST BE INSTALLED PRIOR TO CONSTRUCTION OF THE SEDIMENTATION STRUCTURES.
11. NO MORE THAN 6 ACRES CAN BE DISTURBED AT ANY GIVEN TIME WITHOUT WRITTEN PERMISSION FROM THE MUNICIPALITY.
12. CLEARING LIMITS SHALL NOT BE REVISED WITHOUT THE APPROVAL OF THE TOWN ENGINEER.

OLEAN (WIDTH VARIES) ROAD (ROUTE 16)
(FORMERLY KNOWN AS GREEK ROAD)



PROGRESS DRAWINGS
09-30-15

LEGEND

- UTILITY POLE
- CITY WIRE
- SIGN
- BOLLARD
- LIGHT POLE
- SANITARY SEWER MANHOLE
- GAS LINE MARKER
- DRAINAGE INLET
- HAND-HOLE BOX
- VALVE BOX
- SANITARY SEWER LINE
- STORM SEWER LINE
- GAS LINE
- OVERHEAD ELECTRIC LINE(S)
- WATER LINE
- EXISTING CONTOUR
- PROPOSED HILLINGS FOR PARKING LOT (SEE DETAIL SHEET 6)
- PROPOSED CONTOUR
- SILT FENCE (SF)
- STABILIZED CONSTRUCTION ENTRANCE (SCE)
- CONSTRUCTION LIMITS (CL)
- FILTER FABRIC INLET PROTECTION (FFIP)
- SHALE OUTLET SEDIMENT TRAP (SOST)
- FLOW ARROW
- EXISTING WETLAND DELINEATION DATED NOVEMBER 21ST, 2000 BY EARTH DIMENSIONS
- GRAPHIC SCALE

Hussbamer & Clarke, Inc.
2002 LINDA STREET, SUITE 300, ILLIHOPE, NY 12030
(518) 685-2200 FAX (518) 685-2201
E-MAIL: HUS@HUS-CLARKE.COM

PROPOSED STORAGE PARKING LOT
WEST HERR PROPERTIES EA, LLC
897 OLEAN ROAD, AURORA, NEW YORK
EROSION AND SEDIMENT CONTROL PLAN

NO.	DATE	REVISIONS

HUSSBAMER & CLARKE, INC.
A CORPORATION REGISTERED AS
PRACTICE PROFESSIONAL ENGINEERING
& LAND SURVEYING IN THE
STATE OF NEW YORK
CERTIFICATE No. _____

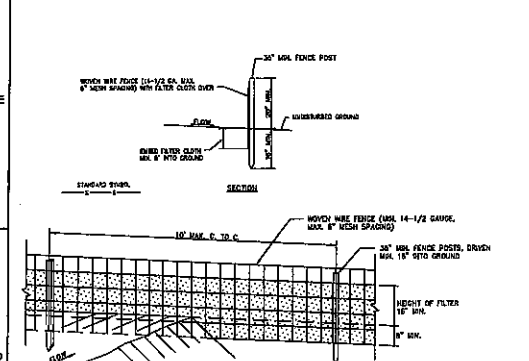
UNAUTHORIZED ALTERATION OR
ADDITION TO THIS ENGINEERING
DRAWING IS A VIOLATION OF
SECTION 2209, PROVISION 8 OF THE
NEW YORK STATE EDUCATION LAW

PROJECT NUMBER	1415-0017
DATE	09-30-15
DRAWN BY	TJB
DESIGNED BY	AHO
CHECKED BY	-
APPROVED BY	KG
SCALE	1" = 50'
DRAWING No.	4 OF 8

PROGRESS DRAWINGS
09-30-15

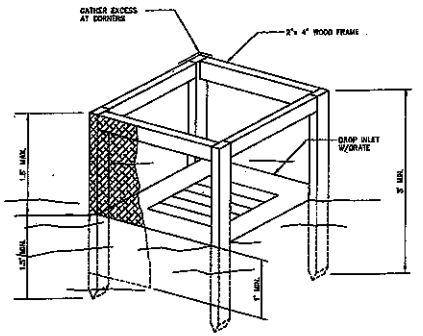
Hussbamer
& Clarke, Inc.
2880 Lake Shore Road, Suite 600 | Lakeland, FL 34001
(941) 877-8888 | (772) 336-7275 Fax
Erick | Higgins | Construction | Chattanooga

PROPOSED STORAGE PARKING LOT
WEST HERR PROPERTIES EA, LLC
597 CLEAN ROAD, AURORA, NEW YORK
EROSION AND SEDIMENT CONTROL DETAILS



PERSPECTIVE VIEW

- CONSTRUCTION SPECIFICATIONS**
- WOODEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
 - FILTER SLATS TO BE FASTENED SECURELY TO WOODEN WIRE FENCE WITH THE SPACES EVERY 2' AT TOP AND SIDES SECTION.
 - WITH TWO (2) SECTIONS OF FILTER CLOTH ADJOINING EACH OTHER, THEY SHALL BE OVERLAPPED BY AT LEAST 10" INCHES AND TIGHTLY SECURED TOGETHER WITH WIRE TIES OR STAPLES.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REWOVEN WHEN "BUBBLE" DEVELOPS IN THE SILT FENCE.

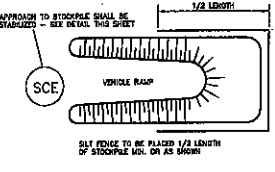


CONSTRUCTION SPECIFICATIONS

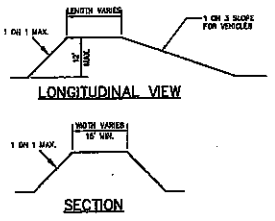
- FILTER FABRIC SHALL HAVE AN EDGE OF 40-60 SURF. SURF. MAY BE USED FOR SHORT TERM APPLICATIONS.
- CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
- STAKE MATERIALS WILL BE STANDARD 2" x 4" WOOD OR EQUIVALENT, METAL WITH A MINIMUM LENGTH OF 3 FEET.
- SPACE STAKES EVENLY APPROX 5 FEET APART AND DRIVE A MINIMUM SIX INCHES DEEP. SPACES GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
- FABRIC SHALL BE EXTENDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
- A 2" x 4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER FLOW STABILITY.

SILT FENCE DETAILS (SF)

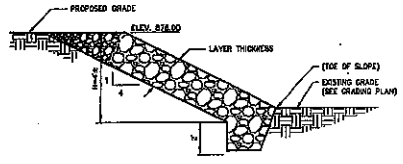
FILTER FABRIC DROP INLET PROTECTION DETAIL (FFIP)



SILT FENCE TO BE PLACED 1/2 LENGTH OF STOCKPILE DOW AS SHOWN



LONGITUDINAL VIEW SECTION TOPSOIL STOCKPILE DETAILS



RIPRAP DESIGN TABLE

CLASS	LAYER	THICKNESS	D50	D60	D85	D100	FILTER
1		18"	5	50	100	150	NA

CONSTRUCTION SPECIFICATIONS

- SLOPE SHALL BE GRADED TO 4:1 OR FLATTER PRIOR TO PLACING FILTER FABRIC, FRAME, OR RIPRAP.
- RIPRAP SHALL BE PLACED TO MAINTAIN A UNIFORM GRADATION. LARGER STONES SHALL BE PLACED AT THE TOE.
- ENDS OF THE RIPRAP SHALL BE KEPT INTO A STRONG BANK. WHEN FINE SANDS OR SILTS ARE ENCOUNTERED, LARGER RIPRAP CAN BE Laid ON SITE OR STOCKPILED AS NEEDED TO FIT. STONES LARGER THAN THOSE DESIGNED FOR FLOW SHALL BE USED FOR THIS PURPOSE.
- BEHIND DISBURSED AREAS SHALL BE GRADED AND PERMANENTLY SEEDED AND MOWED.

RIPRAP SLOPE PROTECTION DETAIL

EROSION CONTROL LEGEND

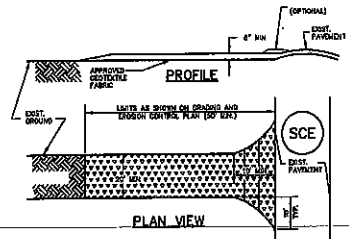


EROSION CONTROL NOTES

- ALL DISTURBED AREAS TO BE GRADED, TOPSOILED AND SEEDED AND SOLOID.
- TEMPORARY STOCKPILE LOCATIONS TO BE APPROVED BY THE TOWN.
- CLEARING SHALL BE LIMITED TO THE PHASE THAT IS CURRENTLY UNDER DEVELOPMENT. NO CLEARING SHALL TAKE PLACE BEYOND WHAT IS NECESSARY TO INSTALL UTILITIES.
- A COPY OF THE WEEKLY SITE INSPECTION REPORT IS TO BE PROVIDED TO THE TOWN IF REQUIRED.
- REMOVAL OF TOPSOIL FROM SITE WILL REQUIRE A PERMIT FROM THE TOWN CODE ENFORCEMENT OFFICE.

GENERAL NOTES

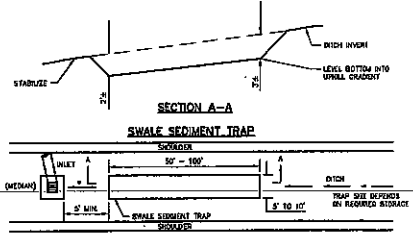
- UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE THIS INFORMATION VERIFIED AND LOCATED PRIOR TO CONSTRUCTION.
- WHERE EXISTING UTILITIES ARE REQUIRED TO BE RELOCATED, THE CONTRACTOR SHALL MAKE ALL NECESSARY ARRANGEMENTS WITH THE UTILITY COMPANY CONCERNING RELOCATION. THE COST FOR RELOCATION OF UTILITIES SHALL BE PROVIDED IN THE BIDDING SPECIFICATIONS FOR INSTALLATION AND TRENCHING.
- ALL DEBRIS AND SPILL SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR.
- BEFORE YOU DIG OR BLAST IN WESTERN NEW YORK CALL "DIG SAFELY NEW YORK" 1-800-882-7882.
- SHALE SHALL NOT BE USED AS BACKFILL MATERIAL FOR PIPE CROSSINGS OF THE PAVEMENT AND CURBS.
- FROM TO SURFACE EROSION PROTECTION, THE SURFACE ON WHICH THE PROTECTOR IS TO BE PLACED SHALL BE THOROUGHLY COMPACTED TO THE BSE ACCORDANCE WITH SECTION 92A3-3.02C OF THE NYSDOT STANDARD SPECIFICATIONS.
- THE PARKING LOT SHALL BE STRIPED AS SHOWN ON THE PLAN.
- A WIDENED HIGHWAY WORK PERMIT IS REQUIRED FOR ANY WORK WITHIN THE STRIP MARK.



CONSTRUCTION SPECIFICATIONS

- STONE BEE - USE 2" STONE OR EQUIVALENT ON REINFORCED CONCRETE EQUIPMENT.
- LENGTH - AS REQD. BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- MODEL - TEN (10) FOOT BARRIERS, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE OVERLAP OR CORNERS OCCUR.
- FILTER CLOTH - WILL BE PLACED OVER THE EXPOSED AREA PRIOR TO PLACING OF STONE. FILTER WILL NOT BE TIED ON A SINGLE FAMILY RESIDENCE LOT.
- BACKFILL MATERIAL - ALL EXPOSED WATER TABLE OR EXPOSED BERM CONSTRUCTION BARRIERS SHALL BE TIED ACROSS THE ENTIRE BERM. IF PRIOR IS APPROPRIATE, A MOUNTAINABLE BERM WITH 1:5 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP PROVISION WITH TOPSOIL OR STONE AS CORRECTED BEHIND AND REPAIR AND CLEANUP OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLS, TRACKS, MARKED ON TRACKS OVER PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WARRANTY - BARRIERS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY WHEN WASHING IS REQD. IF SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN EVENT.

STABILIZED CONSTRUCTION ENTRANCE DETAILS



CONSTRUCTION SPECIFICATIONS

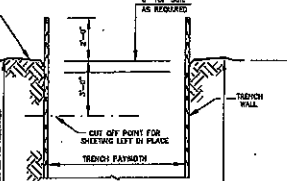
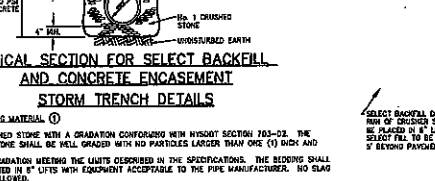
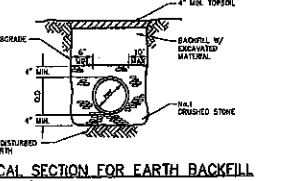
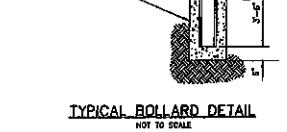
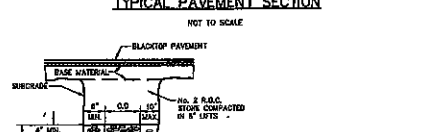
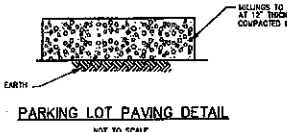
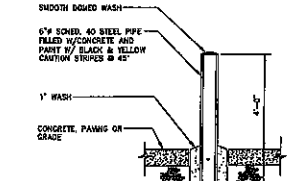
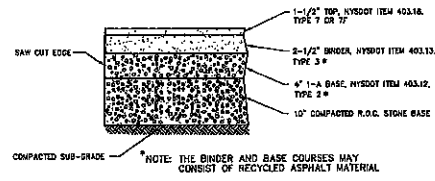
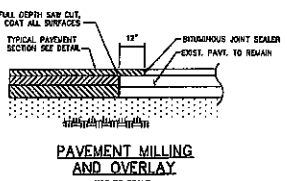
- THE SWALE SEDIMENT TRAP SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DIMENSIONS PROVIDED ON THE SECTION DRAWINGS OR SIZED TO PRODUCE THE MINIMUM STORAGE NECESSARY. 1000 GALLON FEET OF STORAGE FOR EACH ACRE OF DRAINAGE AREA.
- SEDIMENT SHALL BE REMOVED AND THE TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT GROW.
- THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN EVENT, AND REPAIRS MADE AS NEEDED.
- CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION SHALL BE MINIMIZED.
- THE SEDIMENT TRAP SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE CONSTRUCTION DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.
- THE SWALE SEDIMENT TRAP WILL BE PROPERLY BACKFILLED AND THE SWALE OF DITCH RECONSTRUCTED.

SWALE OUTLET SEDIMENT TRAP (SOST)

DATE	REVISIONS	DESCRIPTION

HUSSBAMER & CLARKE, INC.
A CORPORATION REGISTERED TO
PRACTICE PROFESSIONAL ENGINEERING
& LAND SURVEYING IN THE
STATE OF NEW YORK
CERTIFICATE No. _____

PROJECT NUMBER	1438-0407
DATE	09-30-15
DRAWN BY	JTB
DESIGNED BY	AJG
CHECKED BY	RLP
APPROVED BY	
SCALE	AS NOTED
DRAWING No.	5 OF 8



SPECIAL NOTE REGARDING TRENCH BACKFILL MATERIAL:

- SAND SHALL NOT BE USED AS BACKFILL MATERIAL FOR PIPE CROSSINGS OF THE PAVEMENT AND CURBS.
- SHALE SHALL NOT BE PLACED DIRECTLY AGAINST THE UNPROTECTED PIPE SURFACE. A MINIMUM OF 1" OF RESOLVE STONE OR SELECT MATERIAL SHALL COVER THE DOWN OF THE PIPE PRIOR TO PLACEMENT OF SHALE MATERIAL.

NOTE:

- MATERIALS USED FOR THE CONSTRUCTION OF CATCH BASINS AND STORM MANHOLES SHALL MEET THE REQUIREMENTS SPECIFIED IN NYSDOT SECTION 604.
- CONSTRUCTION OF STORM SEWERS AND UNDERDRAINS SHALL MEET THE REQUIREMENTS SPECIFIED IN NYSDOT SECTION 603-1 AND 603-2 AS APPLICABLE.
- CONSTRUCTION OF CATCH BASINS AND STORM MANHOLES SHALL MEET THE REQUIREMENTS SPECIFIED IN NYSDOT SECTION 604-3.
- MATERIALS USED FOR UNDERDRAIN FILTER MATERIAL SHALL MEET THE REQUIREMENTS SPECIFIED IN NYSDOT SECTION 604-3 UNDERDRAIN FILTER TYPE B.
- THE CONTRACTOR SHALL EXPOSE AND EXAMINE INSIDE OPERATIONS TO INSURE PROPER POSITION OF SOLES AND TO MONITOR BULGING AND MINORITY OF STRENGTH, SPACING, IRREGULARITY, IMPROPERLY PLACED, REINFORCED, TOPS AND LAGS, AND TO BE AFFRONTED BY THE WORK CONTRACTOR OF ORANGE FACILITIES AND REPAIRS OF OTHER CONTRACT WORK WHICH IS COMPRISE TO THE CURBS OF EROSION AND SETTLEMENT SHALL BE CORRECTED IMMEDIATELY UPON THE ATTESTATION OF SUCH QUANTITY, CHARACTER OR EXTENT THAT IT CONSTITUTES OPERATIONS WITH THE SATISFACTORY EQUIVALENT OF LIFE AND PROPERTY, OR IS HAZARDOUS TO PLANTS AND ANIMALS. ALL APPLICABLE REGULATIONS OF FISH, WILDLIFE, AND ENVIRONMENTAL PROTECTION AGENCIES AND STATUTES RELATING TO THE PREVENTION OF POLLUTION SHALL BE COMPLIED WITH.

DEE. RESOLVE MATERIAL (1)

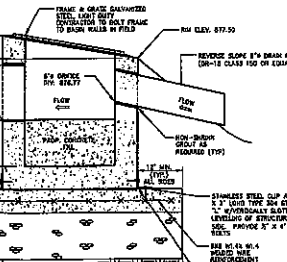
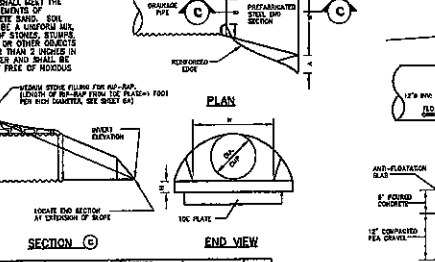
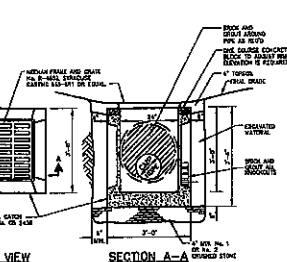
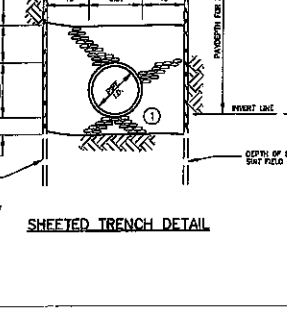
FIG. 1 CRUSHED STONE WITH A GRADATION CONFORMING WITH NYSDOT SECTION 203-02. THE CRUSHED STONE SHALL BE WELL GRADED WITH NO PARTICLES LARGER THAN ONE (1) INCH AND HAVING A MINIMUM GRANULARITY WITHIN THE LIMITS SPECIFIED IN THE SPECIFICATIONS. THE RESOLVE SHALL BE COMPACTED IN 6" LIFTS WITH EQUIPMENT ACCEPTABLE TO THE PIPE MANUFACTURER. NO SLAG SHALL BE ALLOWED.

NOTE:

- PIPE INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- TRENCHING OPERATIONS SHALL INCLUDE ALL NECESSARY Dewatering.
- TRENCH DETAILS ARE ONLY SHOWN FOR PURPOSES OF MATERIAL PLACEMENT AND MAXIMUM PAY LIMITS.
- AN OSHA APPROVED ACCEPTABLE PROTECTIVE TRENCH SHIELD SHALL BE USED IN ALL UNSHIELDED TRENCH AREAS.
- TEMPORARY SHEETING AT CONTRACTOR'S OPTION AND EXPENSE. TEMPORARY SHEETING TO MEET OSHA REQUIREMENT.

DEE. MATERIAL SPECIFICATIONS

- PIPE - CORRUGATED POLYETHYLENE PIPE (6" TO 24" HOPE) SHALL MEET ASTM D 2688. JOINTS TO BE FIELD JOINED WITH STANDARD TYPICAL JOINTS.
- REINFORCED CONCRETE PIPE SHALL BE CLASS B AND MEET ASTM SPECIFICATION C-76. JOINTS FOR 18" SHALL BE EQUIPPED WITH ROUND NUMBER BASKETS.
- CORRUGATED METAL PIPE SHALL BE ALUMINIZED STEEL TYPE 2 WITH A MINIMUM 16 GAUGE AND MEET ASTM DESIGN SPECIFICATION A-444. JOINTS FOR GAP SHALL BE FIELD JOINED WITH ALUMINIZED METAL BANDS.



PIPE DIA. (IN)	PIPE DIA. (FT)	PIPE DIA. (M)	PIPE DIA. (CM)	PIPE DIA. (MM)	PIPE DIA. (INCHES)	PIPE DIA. (FEET)	PIPE DIA. (METERS)	PIPE DIA. (CENTIMETERS)	PIPE DIA. (MILLIMETERS)
4	0.33	0.10	4.0	40	4	0.33	0.10	4.0	40
6	0.50	0.15	6.0	60	6	0.50	0.15	6.0	60
8	0.67	0.20	8.0	80	8	0.67	0.20	8.0	80
10	0.83	0.25	10.0	100	10	0.83	0.25	10.0	100
12	1.00	0.30	12.0	120	12	1.00	0.30	12.0	120
14	1.17	0.35	14.0	140	14	1.17	0.35	14.0	140
16	1.33	0.40	16.0	160	16	1.33	0.40	16.0	160
18	1.50	0.45	18.0	180	18	1.50	0.45	18.0	180
20	1.67	0.50	20.0	200	20	1.67	0.50	20.0	200
24	2.00	0.60	24.0	240	24	2.00	0.60	24.0	240

- GENERAL NOTES:**
- THE CONTRACTOR SHALL COMPLY WITH THE TOWN OF HAMBURG STANDARD DRAWINGS AND SPECIFICATIONS.
 - THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE PROJECT ENGINEER AND THE TOWN OF ORCHARD PARK BLD. DEPT. OF ANY HAZARDOUS SUBSTANCE ENCOUNTERED DURING THE CONSTRUCTION OF THE WORK. HE SHALL AT HIS EXPENSE, CONFORM TO ALL LAWS, RULES, REGULATIONS AND ORDINANCES AS PROMULGATED BY THE UNITED STATES DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION, THE NEW YORK STATE DEPARTMENT OF HEALTH AND ANY SUCH LOCAL RULES, ORDINANCES AND LAWS WHICH ENCOUNTERING OR WORKING WITH ANY SUCH HAZARDOUS SUBSTANCE.
 - THE CONTRACTOR SHALL COMPLY IN ALL RESPECTS TO THE INDUSTRIAL CODE PART (RULE NO.) 53 RELATING TO CONSTRUCTION, EXCAVATION AND DEMOLITION OPERATIONS AT OR NEAR UNDERGROUND FACILITIES, AS ISSUED BY THE STATE OF NEW YORK DEPARTMENT OF LABOR, BOARD OF STANDARD AND APPEAL.
 - SINCE THE ERIC COUNTY WATER AUTHORITY OPERATES AND MAINTAINS THE EXISTING WATER LINES, THEY ARE TO BE NOTIFIED AT LEAST 48 HOURS IN ADVANCE OF THE START OF CONSTRUCTION. ALL EXISTING VALVES ARE TO BE OPERATED BY THE ERIC COUNTY WATER AUTHORITY PERSONNEL.
 - THE CONTRACTOR SHALL EXPOSE EXISTING UTILITIES AHEAD OF THE PIPE LAYING OPERATION, SO THAT, IF MINOR ADJUSTMENTS MUST BE MADE IN ELEVATION AND/OR ALIGNMENT DUE TO INTERFERENCE FROM THESE UTILITIES, SAID CHANGES CAN BE MADE IN ADVANCE OF THE WORK.
 - WHERE SUCH FACILITIES ARE UNDER THE SUPERVISION OF A PROFESSIONAL ENGINEER, HE SHALL CERTIFY TO THE ENGINEERING DEPARTMENT OF THE TOWN OF ORCHARD PARK THAT SAID FACILITIES AS CONSTRUCTED WERE SUPERVISED BY HIMSELF (HERSELF) AND THAT THE WORKS HAVE BEEN FULLY COMPLETED IN ACCORDANCE WITH THE APPROVED ENGINEERING REPORTS, PLANS, SPECIFICATIONS, CONTRACT DOCUMENTS AND ANY AND ALL ADDENDA TO SAME.
 - THE CONSTRUCTION OF THE FACILITIES SHALL BE UNDER THE SUPERVISION OF A PERSON OR FIRM QUALIFIED TO PRACTICE PROFESSIONAL ENGINEERING IN NEW YORK STATE UNDER THE EDUCATION LAW OF THE STATE, WHENEVER ENGINEERING SERVICES ARE REQUIRED BY SUCH LAW FOR SUCH PURPOSES.
 - A WRITTEN CERTIFICATE OF CONSTRUCTION COMPLIANCE, INCLUDING THE RESULTS OF HYDROSTATIC LEAKAGE TESTS, MADE BY THE PROFESSIONAL ENGINEER SUPERVISING THE CONSTRUCTION, SHALL BE SUBMITTED TO THE ERIC COUNTY DEPT. OF ENVIRONMENTAL PLANNING AND NEW YORK DEPARTMENT OF ENVIRONMENTAL CONSERVATION WITHIN THIRTY (30) DAYS AFTER CONSTRUCTION COMPLETION.
 - UNSUITABLE MATERIALS SUCH AS FROZEN ORGANIC AND/OR VEGETABLE MATERIAL, DEBRIS, TREES, LIMBER, LARGE STONES (6"0" OR LARGER), MUD, FEAT, ORGANIC SILT WILL NOT BE ACCEPTABLE FILL AND CERTAIN MAN-MADE DEPOSITS OF INDUSTRIAL WASTE, SLUDGE OR LANDFILL MAY ALSO BE DETERMINED AS UNSUITABLE HAZARDOUS MATERIAL.
 - THE COMPACTION OF ALL MATERIALS WILL OCCUR AT 5" INCREMENTS.
 - VERIFICATION OF ALL EXISTING EASEMENTS IS THE RESPONSIBILITY OF THE DESIGN ENGINEER AND THEY MUST BE SHOWN ALONG WITH ALL PROPOSED EASEMENTS ON PLAN DRAWINGS.
 - SHOULD A FLUID CONDITION BE ENCOUNTERED AT THE TRENCH BOTTOM, THE CONTRACTOR IS TO INSTALL ADDITIONAL STONE GRADE AS ORDERED BY THE ENGINEER.
 - ALL PIPE CROSSING UNDER PAVED AREAS ARE TO BE BACKFILLED TO SUBGRADE WITH COMPACTED SELECT MATERIAL TO FIVE (5) FEET OUTSIDE THE PAVEMENT EDGES.
 - THE CONTRACTOR SHALL RETAIN THE SERVICES OF A QUALIFIED TREE EXPERT TO REMOVE, WHERE NECESSARY, BRANCHES WHICH INTERFERE WITH THE CONSTRUCTION OPERATION, OR REPAIR TREES HAVING SUFFERED DAMAGE BY CONSTRUCTION ACTIVITIES. THE COST INVOLVED IN THE ABOVE IS TO BE INCLUDED IN THE VARIOUS ITEMS OF THE CONTRACT.
 - CAST IN PLACE CONCRETE SHALL CONFORM TO THE REQUIREMENTS OF N.Y.S.D.O.T. STANDARD SPECIFICATION SECTION 501 FOR PORTLAND CEMENT CONCRETE.
 - CORRUGATED STEEL PIPE STORM SEWERS SHALL BE 16 GAUGE GALVANIZED, HEAVILY CORRUGATED STEEL, COATED WITH ASPHALT COATED CONFORMING TO N.Y.S.D.O.T. STANDARD SPECIFICATION 603.
 - MANHOLES AND RECEIVERS SHALL BE CONSTRUCTED IN ACCORDANCE WITH N.Y.S.D.O.T. STANDARD SPECIFICATION 604.
 - REINFORCED CONCRETE PIPE SHALL CONFORM TO N.Y.S.D.O.T. STANDARD SPECIFICATION SECTION 706.02.
 - FOR ALL MANHOLE RECEIVERS IN PAVEMENT, USE PRECAST FLAT TOP

Wissbamer & Clarke, Inc.
 3250 Lake Shore Road, Suite 200, Buffalo, NY 14210
 (716) 836-0000 (716) 836-0001 Fax
 Erie | Niagara | Chautauque | Cattaraugus

PROPOSED STORAGE PARKING LOT
 WEST HERR PROPERTIES EA, LLC
 587 CLEAN ROAD, AURORA, NEW YORK

SITE DETAILS

REVISION	DATE

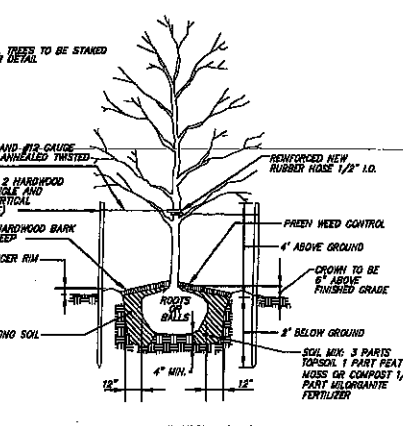
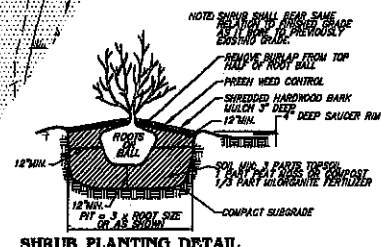
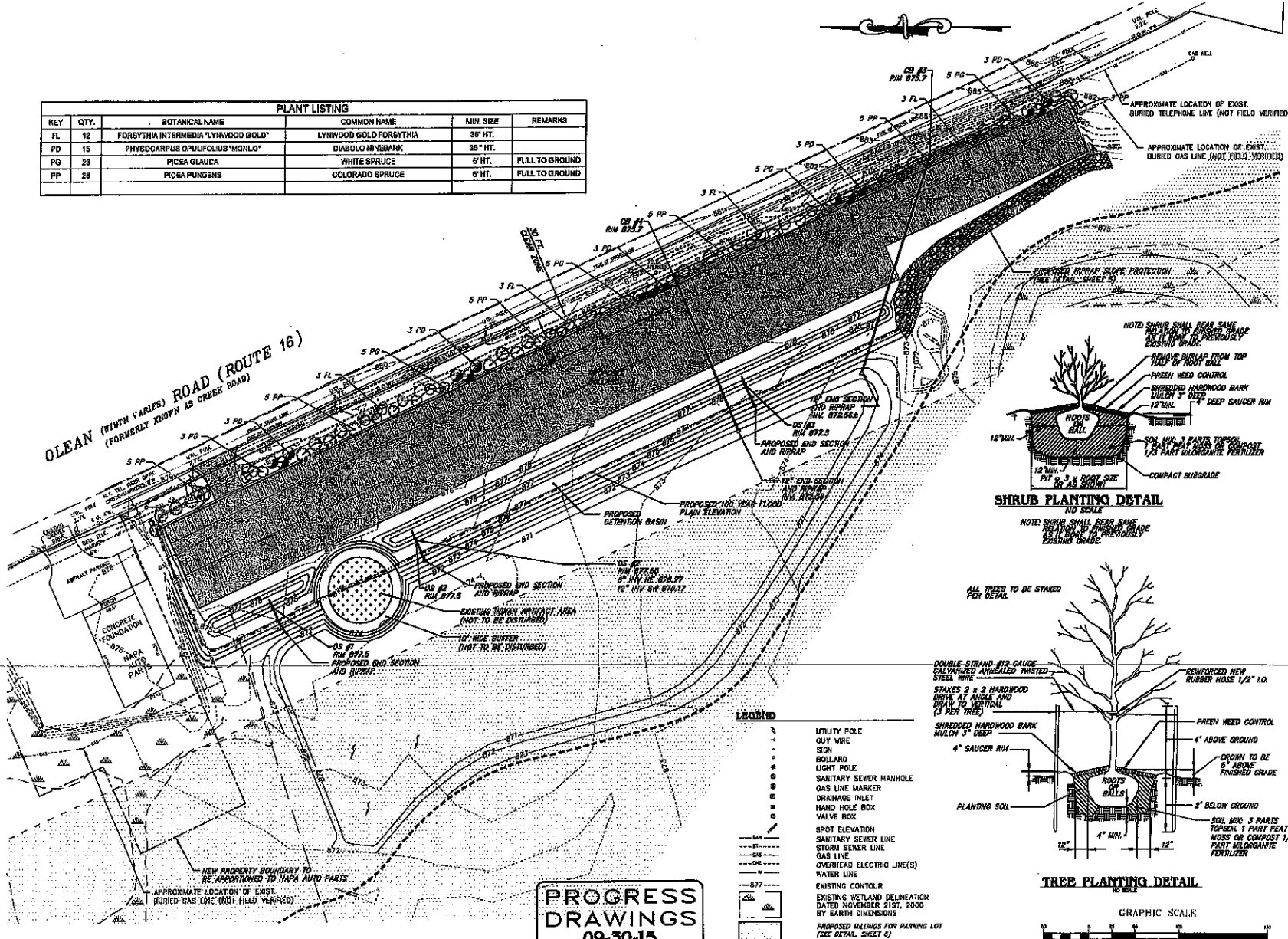
WISSBAMER & CLARKE, INC.
 A CORPORATION REGISTERED TO PRACTICE PROFESSIONAL ENGINEERING AND SURVEYING IN THE STATE OF NEW YORK
 CERTIFICATE No. _____

UNAUTHORIZED ALTERATION OR CHANGES TO THIS ENGINEERING DRAWING IS A VIOLATION OF SECTION 7209 PROVISION 2 OF THE NEW YORK STATE EDUCATION LAW.

PROJECT NUMBER	1423-0047
DATE	06-30-16
DRAWN BY	TJR
DESIGNED BY	AMG
CHECKED BY	RMF
APPROVED BY	
SCALE	AS SHOWN
DRAWING No.	8 OF 8

PROGRESS DRAWINGS
 09-30-15

PLANT LISTING					
KEY	QTY.	BOTANICAL NAME	COMMON NAME	MIN. SIZE	REMARKS
FL	12	FORSYTHIA INTERMEDIA "LYNWOOD GOLD"	LYNWOOD GOLD FORSYTHIA	36" HT.	
PD	15	PHYSCOCARPUS OPULIFOLIUS "MONLO"	DIABLO MINERVA	36" HT.	
PG	23	PICEA GLAUCA	WHITE SPRUCE	6' HT.	FULL TO GROUND
PP	28	PICEA PUNGENS	COLORADO SPRUCE	6' HT.	FULL TO GROUND



PROGRESS DRAWINGS
09-30-15

- LEGEND**
- 12" --- UTILITY POLE
 - 18" --- GUY WIRE
 - 24" --- SIGN
 - 30" --- BOLLARD
 - 36" --- LIGHT POLE
 - 42" --- SANITARY SEWER MANHOLE
 - 48" --- GAS LINE MARKER
 - 54" --- DRAINAGE INLET
 - 60" --- HAND HOLE BOX
 - 66" --- VALVE BOX
 - 72" --- SPOT ELEVATION
 - 78" --- SANITARY SEWER LINE
 - 84" --- STORM SEWER LINE
 - 90" --- GAS LINE
 - 96" --- OVERHEAD ELECTRIC LINE(S)
 - 102" --- WATER LINE
 - 108" --- EXISTING CONTOUR
 - 114" --- EXISTING WETLAND DELINEATION DATED NOVEMBER 21ST, 2000 BY EARTH DIMENSIONS
 - 120" --- PROPOSED ALLIANCE FOR PARKING LOT (SEE DETAIL, SHEET 6)
 - 126" --- PROPOSED CONTOUR

Hussbaumer & Clarke, Inc.
 1000 WEST 14TH AVENUE, SUITE 100
 AURORA, COLORADO 80015
 (303) 733-1000
 www.hussbaumer.com
 ERIK HUSSBAUMER (Landscape Architect)

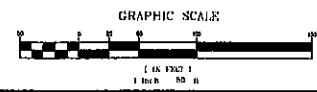
PROPOSED STORAGE PARKING LOT
 WEST HERR PROPERTIES EA, LLC
 591 OLEAN ROAD, AURORA, NEW YORK
LANDSCAPE PLAN

NO.	DESCRIPTION	DATE

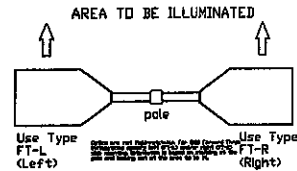
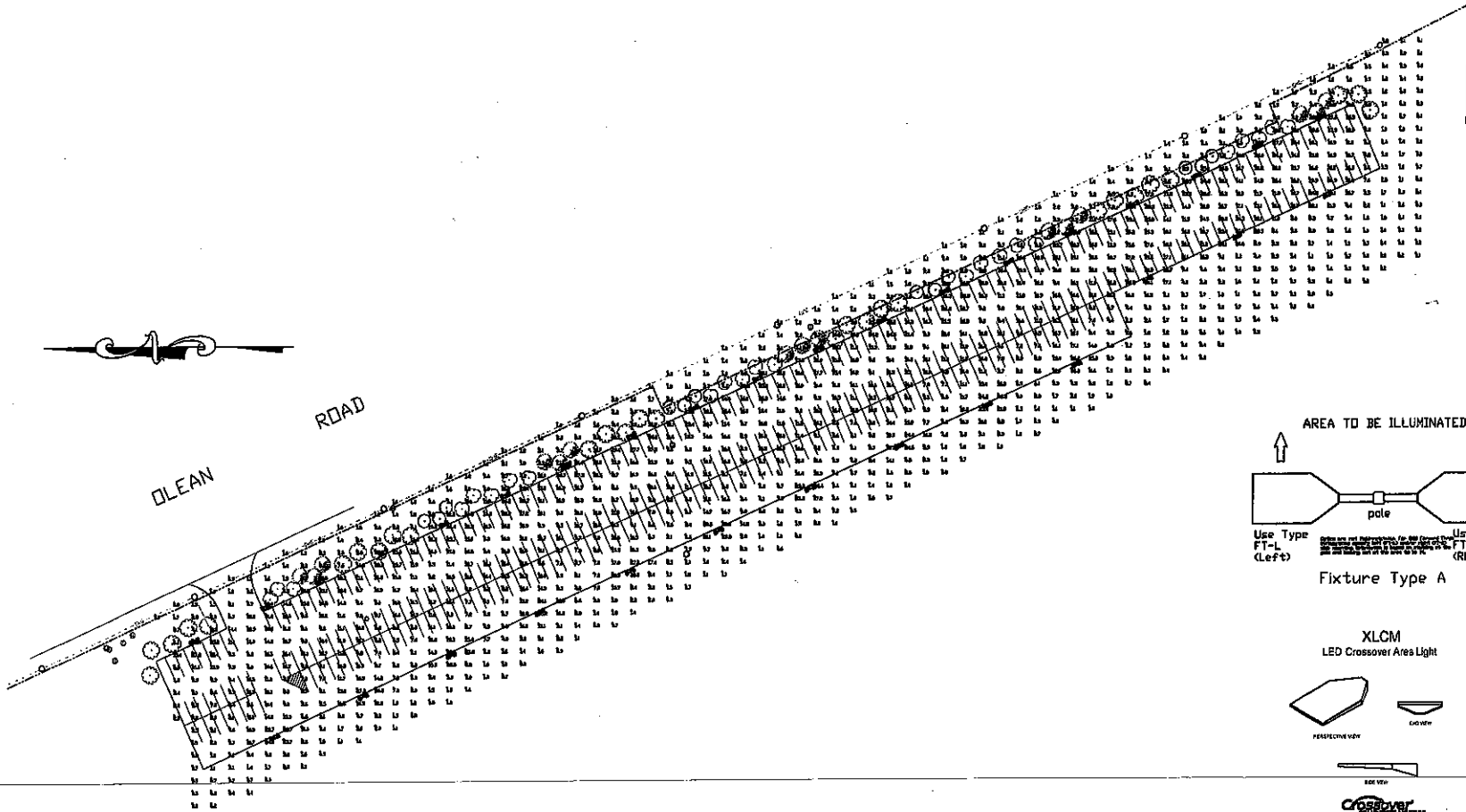
HUSSBAUMER & CLARKE, INC.
 A CORPORATION REGISTERED TO
 PRACTICE PROFESSIONAL ENGINEERING
 AND LAND SURVEYING IN THE
 STATE OF NEW YORK
 CERTIFICATE NO. _____

UNAUTHORIZED ALTERATION OR
 ADDITION TO THIS ENGINEERING
 DRAWING IS A VIOLATION OF
 SECTION 2209, PROVISIONS OF THE
 NEW YORK STATE EDUCATION LAW.

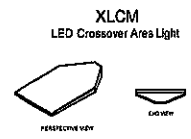
PROJECT NUMBER: 14.5.0049
 DATE: 09-30-15
 DRAWN BY: TR
 DESIGNED BY: AHD
 CHECKED BY: RP
 APPROVED BY: KG
 SCALE: 1" = 50'
 DRAWING NO.: 7 OF 8



PROGRESS DRAWINGS
09-30-15



Fixture Type A



Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/ft ²	Max/ft ²
CalcFts	Luminaire	Ft	0.08	29.4	33	0.02	29.42
LIT SURFACE	Luminaire	Ft	1528	29.4	11	3.64	25.32

Luminaire Schedule								
Symbol	Qty	Label	Arrangement	Description	LLF	Lumens/Lamp	App. Lum. Lumens	App. Watts
X	32	A	2x2x2 BTD	XLCM-01-FT-L J (0-FT-R)-LED-H0-CV-DIG0 DN 2" POLE + 2" BASE	0.92	N/A	61874	3612

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory tests taken under controlled conditions in accordance with the Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaire may vary due to changes in electrical voltage, tolerance in lamp/LEDs and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted.

Total Project Value
Total Value = \$158,000

LIGHTING PROPOSAL LO-187810

NEW IRIS PRODUCE LOT
DUST ALKON

FILE	DATE/REV	BY	DATE

SCALE: 1"=40'