

WS-1

5A

Application # _____

Application	\$25	_____
Permit	\$15	_____
Security Deposit	\$200	_____
Per Day Event	\$200	_____
Additional Services	TBD	_____

Application For Temporary Use Permit

Neil and Barb Chur Equestrian Park, Soccer Field and/or Polo Field At Knox Farm State Park

Submit applications to:
Town of Aurora Parks and Recreation
575 Oakwood Ave
East Aurora, NY 14052
Telephone (716) 652-8866 Fax: (716) 652-5646

ALL REQUESTS MUST BE MADE NO LESS THAN 60 DAYS IN ADVANCE OF EVENT USE.

1. Name of organization: 42 North Brewing Co
2. Individual responsible for this request: John Cimperman
3. Address: 25 Pine St.
East Aurora, NY
4. Telephone number: 716 0
5. Fax: _____
6. Email: John @ 42NorthBrewing.com
7. Date(s) of event: Saturday, Feb. 19th
8. Hours of use including set up/take down: Start 11 AM End 4 PM
9. Description of the event or use:
Use of Parking Lot for Brewski event
at Staples
10. Specific area(s) request. Please attach a map of the area.
 - a. Soccer fields _____
 - b. Polo Field _____
 - c. Equestrian Park _____
 - d. Other
 - i. Describe Parking Lot

Official Use Only

Event: _____

Attachments Submitted

- Indemnification Agreement
- Certificate of Insurance
- Map with area(s) requested to be used indicated
- Parking and Traffic plan
- Copy of application for sign permit, if applicable. (Upon application approval copy of approved sign permit must be filed with the Town Clerk NO LATER THAN 5 days prior to scheduled event.)

_____ Copy of this application to NYS Parks and Recreation c/o Evangola State Park

Application Recommended or _____ Not recommended
by the Recreation Department.

Action by Aurora Town Board

The Aurora Town Board, upon review of the application request # _____ submitted by _____ (organization or individual) took the following action with or without conditions (as applicable) noted below:

Approved: _____
Supervisor's Signature

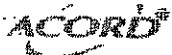
Date: _____

Denied: _____
Supervisor's Signature

Date: _____

Conditions:

- _____ Police Department Approval
- _____ Highway Department Approval
- _____ Building Department Approval
- _____ Requesting organization shall attach a completed **Certificate of Insurance** with minimum limits to include public liability coverage with limits of \$1,000,000 each occurrence; property damage insurance with limits of \$1,000,000 each occurrence. Policy shall be endorsed to include the Town of Aurora as an additional name insured
- _____ Requesting organization or individual shall submit an **Indemnification Agreement** signed by authorized applicant or officer of company and duly notarized.
- _____ Approval of parking and traffic plan
- _____ Other



CERTIFICATE OF LIABILITY INSURANCE

DATE(MM/DD/YYYY)
12/21/2022

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER BADGER & GUNNER, INC. 24 PINE STREET E. AURORA, NY 14052		CONTACT NAME: PHONE (A/C No. Ext): (716) 652-6350 FAX (A/C No.): 652-2512 E-MAIL: ADDRESS:	
INSURED 42 NORTH BREWING CO. 25 PINE ST. EAST AURORA, NY 14052		INSURER(S) AFFORDING COVERAGE NAIC# INSURER A: UTICA MUTUAL INSURANCE CO INSURER B: PREFERRED MUTUAL INSURANCE CO INSURER C: INSURER D: INSURER E: INSURER F:	

COVERAGES CERTIFICATE NUMBER REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INER LTR	TYPE OF INSURANCE	ANGL INSR	STUR YVVO	POLICY NUMBER	POLICY BEG (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC	X	Y	CPP5483130	11-1-22	11-1-23	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000 MED EXP (Any one person) \$ 5,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input checked="" type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS						PCA 0100715623
A	<input checked="" type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED RETENTIONS	X		CUL95491415	11-1-22	11-1-23	EACH OCCURRENCE \$ 1,000,000 AGGREGATE \$ 1,000,000
A	WORKERS COMPENSATION AND EMPLOYERS LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NY) If Yes, Describe under DESCRIPTION OF OPERATIONS below		N/A	4851491	5-3-22	5-3-23	WC STATUTORY LIMITS OTHER E.L. EACH ACCIDENT \$ 500,000 E.L. DISEASE - EA EMPLOYEE \$ 500,000 E.L. DISEASE - POLICY LIMIT \$ 500,000
A	LIQUOR LIABILITY		Y	CPP5483130	11-1-22	11-1-23	1,000,000 EACH 2,000,000 AGGREGATE

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (Attach ACORD 101, Additional Remarks Schedule, if more space is required)

BREWERY

CERTIFICATE HOLDER TOWN OF AURORA 575 OAKWOOD AVE EAST AURORA, NY 14052	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE
--	--

BREWSKI

DIFFICULTY

4

3

5

2

1

KEY

START

FINISH

RESTROOMS

TRAIL

VENDORS

VENDORS

FREEWHEEL BIKES

CAMPUS WHEELWORKS

SWAIN SKI RESORT

FINGER LAKES TRAIL

WNYMBA

FOOD

BUFFALO'S BEST FOOD

UNDERGROUND COFFEE

MUSIC

JUNGLE STEVE (NOON)

CRUXWATER (4PM @ 42N)

ENTER
HERE

PARKING



SUPERVISOR
JAMES J. BACH
(716) 652-7590
supervisor@townofaurora.com



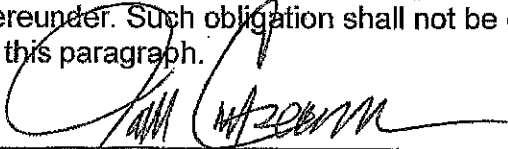
TOWN CLERK
MARTHA L. LIBROCK
(716) 652-3280
townclerk@townofaurora.com

TOWN OF AURORA
300 Glead Ave., East Aurora, NY 14052
www.townofaurora.com

Indemnification Agreement

Neil and Barb Chur Equestrian Park, Soccer Field and/or Polo Field


To the fullest extent permitted by law, I/We shall indemnify and hold harmless the Town of Aurora and its employees from and against claims, damages, losses and expenses, including but not limited to attorney's fees, arising out of or resulting from performance of our work under this contract, provided that such claim, damage, loss or expense is attributable to bodily injury, sickness, disease or death, or injury to or destruction of tangible property, including the loss of use resulting there from but only to the extent caused in whole or in part by negligent acts or omissions of our organization, anyone directly or indirectly employed by us or for anyone for whose acts they may be liable, regardless of whether or not such claim, damage, loss or expense is caused in part by a party indemnified hereunder. Such obligation shall not be construed to otherwise exist as to a party or person described in this paragraph.



Authorized Applicant or Officer

State of New York)
County of Erie)

Subscribed and sworn to before me this 22 day of December, 2022



Notary Public

Qualified in Erie County, New York
My commission expires: June 22, 2023

LAURIE A. CULLEN
Notary Public, State of New York
No. 01CU6326714
Qualified in Erie County
My Commission Expires June 22, 2023



WS-2

5B

TOWN OF AURORA

TO: Aurora Town Board

FROM: Councilman Snyder / West Falls Colden Library

DATE: February 4, 2023

=====

Please review and consider approval of the purchase of new flooring for the West Falls Colden Library at the low bid of \$4,794.00 from Lowes Home Centers. Over the past several years the Town has done updates such as painting, bathroom and storage renovations, and a few other minor repairs. A new laminate floor would enhance the visual appearance and continue on the path of keeping the library up to date. Flooring would be installed by our Highway Department as time allows. Funding would come half from the ARPA line 7110.454.

Quotes:

Custom Carpet -	\$7,168.23	not including rubber base
Valley Floors & Carpet	\$11,275.00	
Lowes Home Centers	\$4,794.00	

Thank You,
Charles Snyder

941-6564
8909 Boston State Rd
Boston, NY 14025

**Valley Floors
& Carpet Cleaning**

email: valleyfloorsandcarpetcleaning@yahoo.com
www.valleyfloorsandcarpetcleaning.com

Invoice #

Date: 11/11/2022

SOLD TO:

SHIP TO:

West Falls Library

Terms

Order#

Type/Delivery

Salesperson

Size	Quantity	Description	\$ Per	Amount
		Mannington Aura Luxury vinyl plank (20 mil wear layer) (Color - to be determined)		
		1746.72 sq' + 5% waste added = 1834.06 sq'		
		34 sq' / carton = 53.9 cartons = 54 cartons		
		= 1836 sq' x \$5.85 / sq. foot		
		* Includes Adhesive 3 of 4 gal. Buckets = 3		
		* Shipping		
		Customer's Responsibilities:		
				10,740.00

* Floor is to be installed over Premium Underlayment
* NOT included in estimate
** NOT LOAN

Included in Job:

20 lineal feet of Roppe 700 series 6" VCB = \$30
400 lineal feet of Roppe 700 series 4" VCB = \$425
2 Gallons Henry core Base Adhesive @ \$0.00 **\$5.35⁰⁰**

Installation:

SubTotal: \$ 11,275.00

Tax Exempt

Total: \$ 11,275.00

Deposit Paid

Balance Due

FIELD SERVICE INC.

106 Electric Ave. West Seneca, N.Y. 142
716-825-5503 c-716-574-6293
fieldserviceinc@yahoo.com

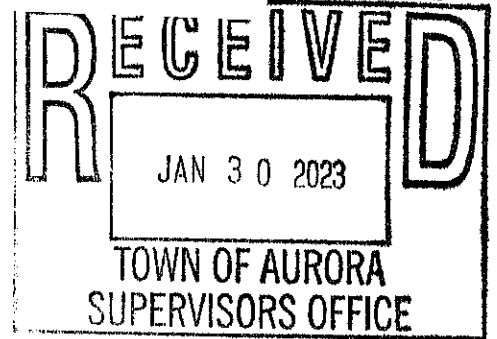
WS-3 5C

Janua:

Town of Aurora
575 Oakwood Ave.
East Aurora, NY 14059

re: Town Gas Wells

Chuck Snyder



To well tend the Major #1 and Major #2 is \$ 175.00/month.

This includes monitoring the production and call Kathleen with the numbers.

Train your people on basic well operation.

Add desiccant to the dryers.

Check regulator lock up and service the wells.

What's not included:

Parts

Desiccant (Currently \$ 3.00/lb)

Installation of new items

Paint

Currently the are out of compliance with the DEC as far as meters are concerned.

I believe we only need one and then use the NFG meter and subtract the Major 1 to get the Major 2 production. Installed a new meter is \$2500.00 and a used is \$ 1100.00

The wells also need Wax Tape to seal off the production casing from the surface casing. This is \$65.00/roll and should take 3 or 4 rolls to do both wells. Plus about an hour of labor each.

Current labor rates.....\$125.00/hour

If you have any other questions feel free to contact me.

Sincerely,

A handwritten signature in black ink, appearing to read "D. Wierzba".

David P. Wierzba
Field Service Inc.

WS-4 5D

PYROTECHNIC DISPLAY AND SERVICES AGR

This PYROTECHNIC DISPLAY AND SERVICES AGREEMENT (hereinafter referred to as "agreement") and entered into this ___ day of 9th of February, 2023 by and between **SKYLIGHTERS of New York LLC** (herein after referred to as "SELLER") the **Town of Aurora and Village of East Aurora** (herein after referred to as "BUYER").

This is a one year agreement.

1. TIME AND PLACE: POSTPONEMENT/CANCELLATION: SELLER agrees to design, produce and execute a fireworks show, otherwise known as a pyrotechnic display. At approximately 10 p.m. on the 3^d day of July 2023 at the following location: Hamlin Park, East Aurora, NY - weather permitting. An alternative inclement weather date is hereby designated to be the 4th day of July 2023 at the same time and place set forth herein above. It is agreed and understood by and between the parties hereto that SELLER shall have the sole, exclusive and final determination of the suitability of the weather conditions at time of the display. In the event SELLER should determine that the weather conditions are such that an unsafe or hazardous condition may exist, SELLER shall have the exclusive right to postpone the starting time of the display and/or delay the display in its entirety until conditions have improved and are appropriate for the safety of all involved or until the inclement weather date as set forth herein above. If for any reason the display cannot be presented at all, 10% of contract is due to Skylighters of New York, LLC.

2. INSURANCE: SELLER agrees to provide a Certificate of Insurance showing SELLER and BUYER to be insured and covered for \$5,000,000 Each Accident; \$5,000,000 General Aggregate; \$5,000,000 products-comp/ops Agg. SELLER will obtain and keep in force Workers Compensation insurance, including employees liability to the full statutory limits. In the event greater liability insurance limits are required, the additional cost will be paid by BUYER. To the fullest extent permitted by law, the SELLER agrees to defend, indemnify and hold harmless the BUYER. The Town of Aurora and Village of East Aurora are additional insured on primary and noncontributing basis. Waiver of subrogation applies.

3. SECURITY/SAFETY: BUYER is responsible for procuring and managing the following: Adequate security personnel; barricades; ropes with flags, etc., to barricade all closed (dangerous) areas to spectators; traffic patrolmen; and as necessary: security guards for crowd control and clean-up personnel to remove litter left by spectators or any persons other than SELLER; trash receptacles as necessary for spectators; "No Parking" signs and directional signs. As necessary: sufficient space (as determined by shell size) for the proper and safe display of said pyrotechnic program. Such space to be clear and free of all persons except those employed by SELLER and clear of any and all equipment, vehicles, structures or items of any other kind not authorized or put in place by SELLER.

4. LICENSES OR PERMITS: BUYER shall be responsible for obtaining, for SELLERS benefit, any State, City or local licenses or permits required to execute the pyrotechnic display contemplated herein. SELLER shall provide BUYER with any necessary information, proof of insurance or other items required by the licensing/permitting authority for issuance of such licenses for permits.

5. COMPENSATION: Compensation shall be made to the SELLER hereunder as follows: \$16,000.00 due on or before the 3^d day of July, 2023. The total amount of this contract is \$16,000.00.

If for any reason other than is addressed hereinabove the BUYER wishes to cancel this Agreement, there will be a cancellation fee in the amount of fifty percent of the total contract price for the cancellation of a one-year contract to be paid to or retained by SELLER. Any applicable state or local taxes will be payable by the BUYER.

6. Should the setup of the display require a multi-day setup, it is up to the BUYER to provide overnight security for the display site.

THIS CONTRACT IS BINDING ONLY AFTER IT HAS BEEN SIGNED BY ALL PARTIES HERETO AND RETURNED TO THE SELLER WITH THE REQUIRED DEPOSIT AS SET FORTH HEREINABOVE.

Skylighters of New York LLC - "SELLER"

Town of Aurora - "BUYER"

BY: _____

BY: _____

Matthew Shaw Member

Supervisor

DATE: _____

DATE: _____

Village of East Aurora - "BUYER"

BY: _____

Mayor

DATE: _____

SUPERVISOR
JAMES J. BACH
(716) 652-7590
jbach@townofaurora.com



WS-5

SE

(716) 652-3280
townclerk@townofaurora.com

TOWN OF AURORA
575 Oakwood Avenue, East Aurora, NY 14052
www.townofaurora.com

MEMO

TO: Aurora Town Board
FROM: Kathleen Moffat
RE: Water District Fund Balances/ZP Deficit
DATE: 02/13/23

The following water districts have a fund balance resulting from water fees and/or interest and penalties. Since there is no debt associated with these funds, I respectfully request approval to transfer \$5,000 from each fund to ZP. The \$20,000 transfer will correct the \$12,241 deficit and create a small fund balance for future costs.

- W7: \$33,783.65
- WB: \$49,869.60
- WD: \$19,716.14
- ZB: \$21,658.90

I respectfully request the remaining dollar amounts in each fund be distributed proportionately to each water district fund with debt. Please see the attached spreadsheet for the dollar amounts and calculations.

These requests are based on research done by Town Attorney Brigid Maloney regarding surplus funds. She will be forwarding her findings in an email and will be able to discuss the matter at the 2/13/23 Town Board meeting.

WATER DISTRICT FUND BALANCE TRANSFERS

W7	% Transfer Amt	\$ Transfer Amt	Transfer To
33,783.65		5,000.00	ZP
28,783.65	3%	863.51	WH
	0.50%	143.92	WJ
	2%	575.67	WK
	2%	575.67	WL
	0.50%	143.92	WN
	1%	287.84	WO
	4%	1,151.35	WP
	0.50%	143.92	WQ
	3.50%	1,007.43	WR
	80%	23,026.92	ZE
	3%	<u>863.51</u>	W6
		33,783.65	

WB	% Transfer Amt	\$ Transfer Amt	Transfer To
49,868.60		5,000.00	ZP
44,868.60	3%	1,346.06	WH
	0.50%	224.34	WJ
	2%	897.37	WK
	2%	897.37	WL
	0.50%	224.34	WN
	1%	448.69	WO
	4%	1,794.74	WP
	0.50%	224.34	WQ
	3.50%	1,570.40	WR
	80%	35,894.88	ZE
	3%	<u>1,346.06</u>	W6
		49,868.60	

WD	% Transfer Amt	\$ Transfer Amt	Transfer To
19,715.14		5,000.00	ZP
14,715.14	3%	441.45	WH
	0.50%	73.58	WJ
	2%	294.30	WK
	2%	294.30	WL
	0.50%	73.58	WN
	1%	147.15	WO
	4%	588.61	WP
	0.50%	73.58	WQ
	3.50%	515.03	WR
	80%	11,772.11	ZE
	3%	<u>441.45</u>	W6
		19,715.14	

ZB	% Transfer Amt	\$ Transfer Amt	Transfer To
21,658.90		\$ 5,000.00	ZP
16,658.90	3%	\$ 499.77	WH
	0.50%	\$ 83.29	WJ
	2%	\$ 333.18	WK
	2%	\$ 333.18	WL
	0.50%	\$ 83.29	WN
	1%	\$ 166.59	WO
	4%	\$ 666.36	WP
	0.50%	\$ 83.29	WQ
	3.50%	\$ 583.06	WR
	80%	\$ 13,327.12	ZE
	3%	\$ <u>499.77</u>	W6
		\$ 21,658.90	

Water Districts w/ Fund Balance Resulting From Water Fees and/or Interest & Penalties:

W7	33,783.65
WB	49,868.60
WD	19,715.14
ZB	<u>21,658.90</u>
TOTAL	125,026.29

Percentage of Debt as of 12/31/22:

WH	412,000.00	3%
WJ	45,000.00	0.50%
WK	204,000.00	2%
WL	243,000.00	2%
WN	34,000.00	0.50%
WO	148,000.00	1%
WP	426,000.00	4%
WQ	83,000.00	0.50%
WR	425,000.00	3.50%
ZE	9,500,000.00	80%
W6	<u>320,000.00</u>	<u>3%</u>
TOTAL	11,840,000.00	100%

WS-6 5F

NOTICE OF PUBLIC HEARING

PLEASE TAKE NOTICE, that a public hearing will be held by the Town Board of the Town of Aurora on the 27th day of February, 2023 at 7:00 p.m. at the Aurora Municipal Center, 575 Oakwood Avenue, East Aurora, New York, at which hearing parties and interested citizens shall have an opportunity to be heard on the adoption of a Local Law of the Town of Aurora for the year 2023, to amend Chapter 101 of the Codes of the Town of Aurora to increase the maximum annual income eligibility for Disabled Persons with limited incomes to receive a real property tax exemption.

All interested parties are entitled to be heard upon the said proposed Local Law at such public hearing. Copies of said proposed Local Law are available for review at the offices of the Town Clerk during normal business hours or on the Town website www.townofaurora.com

By Order of the Town Board of the Town of Aurora.

Dated: February 13, 2023

MARTHA LIBROCK, Town Clerk
Town of Aurora

TOWN OF AURORA
LOCAL LAW INTRO NO. 1-2023
LOCAL LAW NO. ___ - 2023

A LOCAL LAW, TO AMEND LOCAL LAW 1-1990 KNOWN AS THE CODES OF THE TOWN OF AURORA, ADOPTED BY THE TOWN BOARD OF THE TOWN OF AURORA ON JANUARY 22, 1990, BY AMENDING CHAPTER 101 ARTICLE III SECTION 101-23 TO INCREASE THE MAXIMUM INCOME ELIGIBILITY FOR DISABLED PERSONS WITH LIMITED INCOMES.

SECTION 1. LEGISLATIVE INTENT

BE IT ENACTED BY THE TOWN BOARD OF THE TOWN OF AURORA AS FOLLOWS:

This Local Law amends a prior Local Law known as The Codes of the Town of Aurora, adopted by the Town of Aurora on January 22, 1990, as amended, relating to the administrative, legislative and general legislation of the Codes within the Town of Aurora as herein set forth. This legislation amends the maximum annual income for disabled persons with limited incomes.

SECTION 2. CHAPTER 101, ARTICLE III, SECTION 101-23 Eligibility; amount.

To be eligible for the exemption provided by §101-22 of this article, the maximum income of such person shall be \$32,400. Real property owned by one or more persons with disabilities, or real property owned by a husband and wife, or both, or by siblings, at least one of whom has a disability, and whose income, as hereafter defined, is limited by reason of such disability, shall be exempt from taxation by the Town of Aurora to the extent provided in the following table:

Annual Income	Percentage of Assessed Valuation Exempt from Taxation
Up to \$24,000	50%
More than \$24,000 but less than \$25,000	45%
\$25,000 or more, but less than \$26,000	40%
\$26,000 or more, but less than \$27,000	35%
\$27,000 or more, but less than \$27,900	30%
\$27,900 or more, but less than \$28,800	25%
\$28,800 or more, but less than \$29,700	20%
\$29,700 or more, but less than \$30,600	15%
\$30,600 or more, but less than \$31,500	10%
\$31,500 to \$32,400	5%

SECTION 3. EFFECTIVE DATE

This Local Law shall take effect on March 1, 2023 and shall be filed with the New York Secretary of State pursuant to §27 of the New York Municipal Home Rule Law.

Chapter 101. Taxation

Article VIII. Exemption for Disabled Persons With Limited Incomes

[Adopted 5-10-1999 by L.L. No. 1-1999]

CURRENT CODE/
LAW

§ 101-22. Exemption granted.

Real property owned by one or more persons with disabilities, or real property owned by a husband, wife, or both, or by siblings, at least one of whom has a disability, and whose income, as hereinafter defined, is limited by reason of such disability shall be exempt from taxation by the Town of Aurora, as authorized by § 459-c of the New York Real Property Tax Law, to the extent of 50% of the assessed valuation thereof as hereinafter provided.

§ 101-23. Eligibility; amount.

To be eligible for the exemption provided by § 101-22 of this article, the maximum income of such person shall not exceed \$18,500. Real property owned by one or more persons with disabilities, or real property owned by a husband and wife, or both, or by siblings, at least one of whom has a disability, and whose income, as hereinafter defined, is limited by reason of such disability, shall be exempt from taxation by the Town of Aurora to the extent provided in the following table:

Annual Income	Percentage of Assessed Valuation Exempt from Taxation
More than \$18,500 but less than \$19,500	45%
\$19,500 or more, but less than \$20,500	40%
\$20,500 or more, but less than \$21,500	35%
\$21,500 or more, but less than \$22,400	30%
\$22,400 or more, but less than \$23,300	25%
\$23,300 or more, but less than \$24,200	20%
\$24,200 or more, but less than \$25,100	15%
\$25,100 or more, but less than \$26,000	10%
\$26,000 or more, but less than \$26,900	5%

§ 101-24. Definitions.

As used in this article, the following words shall have the following meanings:

PERSON WITH A DISABILITY

NOTICE OF PUBLIC HEARING

WS-7 5G

PLEASE TAKE NOTICE, that a public hearing will be held by the Town Board of the Town of Aurora on the 27th day of February, 2023 at 7:00 p.m. at the Aurora Municipal Center, 575 Oakwood Avenue, East Aurora, New York, at which hearing parties and interested citizens shall have an opportunity to be heard on the adoption of a Local Law of the Town of Aurora for the year 2023, to amend Chapter 101 of the Codes of the Town of Aurora to increase the maximum annual income eligibility for Alternative Veterans Exemptions to receive a real property tax exemption.

All interested parties are entitled to be heard upon the said proposed Local Law at such public hearing. Copies of said proposed Local Law are available for review at the offices of the Town Clerk during normal business hours or on the Town website www.townofaurora.com

By Order of the Town Board of the Town of Aurora.

Dated: February 13, 2023

MARTHA LIBROCK, Town Clerk
Town of Aurora

TOWN OF AURORA
LOCAL LAW INTRO NO. 2-2023
LOCAL LAW NO. ____ - 2023

A LOCAL LAW, TO AMEND LOCAL LAW 1-1990 KNOWN AS THE CODES OF THE TOWN OF AURORA, ADOPTED BY THE TOWN BOARD OF THE TOWN OF AURORA ON JANUARY 22, 1990, BY AMENDING CHAPTER 101 ARTICLE VI SECTION 101-16 TO INCREASE THE MAXIMUM INCOME ELIGIBILITY FOR ALTERNATIVE VETERANS EXEMPTIONS..

SECTION 1. LEGISLATIVE INTENT

BE IT ENACTED BY THE TOWN BOARD OF THE TOWN OF AURORA AS FOLLOWS:

This Local Law amends a prior Local Law known as The Codes of the Town of Aurora, adopted by the Town of Aurora on January 22, 1990, as amended, relating to the administrative, legislative and general legislation of the Codes within the Town of Aurora as herein set forth. This legislation amends the maximum exemption allowable for the calculation of alternative veterans' exemptions.

SECTION 2. CHAPTER 101, ARTICLE VI, SECTION 101-16 Exemption increased.

The Town of Aurora hereby elects to increase the maximum exemption allowable in Paragraphs (a), (b) and (c) of Subparagraph (ii) of §458-a of the New York State Real Property Tax law shall be: with respect to paragraph (a) of said subparagraph, thirty thousand dollars (\$30,000); with respect to paragraph (b) of said subparagraph, twenty thousand dollars (\$20,000); and with respect to paragraph (c) of said subparagraph, one-hundred thousand dollars (\$100,000).

SECTION 3. EFFECTIVE DATE

This Local Law shall take effect on March 1, 2023 and shall be filed with the New York Secretary of State pursuant to §27 of the New York Municipal Home Rule Law.

Chapter 101. Taxation

Article VI. Alternative Veterans Exemption

[Adopted 2-24-1997 by L.L. No. 2-1997]

§ 101-15. Title.

CURRENT CODE/LAW

This article shall be known as the "Veterans Exemptions Local Law No. 2 for the Year 1997."

§ 101-16. Exemption increased.

The Town of Aurora hereby elects to increase the maximum exemption allowable in Paragraphs (a), (b) and (c) of Subparagraph (ii) of Paragraph (d) of Subdivision 2 of § 458-a of the New York Real Property Tax Law, as amended, to \$ 18,000, \$12,000 and \$60,000, respectively, and directs the Assessor of the Town of Aurora to calculate veterans' exemptions with this modification in mind in connection with all assessment rolls prepared on or after the Town's June 1, 1997, taxable status date.

§ 101-17. Effective date.

This article will take affect on the latter of March 1, 1997, or the date that it is filed with the New York Secretary of State pursuant to § 27 of the New York Municipal Home Rule Law.

WS-8

5H

TOWN OF AURORA

575 OAKWOOD AVENUE, EAST AURORA, NY 14052
BUILDING DEPARTMENT
(716) 652-7591

MEMO

TO: Supervisor Bach, and Town Council Members

FROM: Elizabeth Cassidy, Code Enforcement Officer

DATE: February 7, 2023

William Panzica, a/a/f West Falls Center For The Arts at 1853 Davis Rd, has submitted a Site Plan application and Special Use Permit application for the property. The Center is planning to remove a building, expand parking, build an amphitheater, outdoor stage and sound booth, and concession stand. Temporary porta potties are to be utilized until a new septic system is installed.

As per 116-41, the Town Board may:

1-take no action

2-request the applicant modify the application or resubmit

3-request a site plan application at the same time (already submitted)

4-refer the applications to the Planning Board for their review and recommendation.

Please contact me if you have any questions.

liz

TOWN OF AURORA
SITE PLAN REVIEW APPLICATION

Date submitted: 1/30/2023
Applicant name: William Panzica
Applicant Phone/Email: 716 430-1151 Northeast35@gmail.com
Applicant address: PO Box 486 Westfalls NY 14170
Property owner: William Panzica
Owner's address PO 486 Westfalls NY 14170
Property address: 1853 Davis Rd Westfalls NY 14170
SBL # (s) 199.03-1-61.6-2,6.3+7
Prior owner _____

Is site adjacent to or within 500 feet of an 'R' District? Yes.

=====

Proposed Project: outdoor stage, Nature trails, sculpture park
Commercial Multi family _____ Number of dwelling units _____
Zone: B-2 Total property Acreage: 7 Acreage covered by bldg Less than 1
Square footage of building: 2485 Cubic footage of building: _____

Aggregate square footage of other buildings on property: To be demolished

Fees, based on number of improved acres*

**Additional professional services, including but not limited to traffic study and SEQRA review, utilized by the Town during the review process shall be borne by the applicant*

0-1 Acres: \$250 1.01-5Acres: \$500 5.01-10 Acres: \$1,000 >10 Acres: \$1,500

Fee: \$ 500⁰⁰
Receipt: # _____

Received by _____
Town Clerk/Deputy Clerk

SEQR action: ___ Type I (Long EAF) ___ Type II (Long EAF) ___ Unlisted (Short EAF)



Town of Aurora Town Board
575 Oakwood Avenue, East Aurora NY, 14052

Special Use Permit Application Form

I. PROJECT INFORMATION (Applicant/Petitioner):

Business/Project Name: Westfalls Center for the arts
 Business/Project Address: 1853 Davis Rd
 Applicant Name: William Panzica
 Mailing Address: PO 486
 City Westfalls NY State _____ ZIP _____
 Phone 716 430 1151 Fax _____ Email Westfalls Art Center@gmail.com
 Interest in the property (ex: owner/purchaser/developer) owner

II. PROPERTY OWNER INFORMATION (If different than Applicant AND the Owner does not sign below, please submit and original, notarized "Owner Authorization" form - attached):

Property Owner(s) Name(s) William Panzica
 If a corporate, please name a responsible party/designated officer: _____
 Address PO Box 486
 City Westfalls State NY ZIP 14170
 Phone 716 430 1151 Fax _____ Email Northeast35@gmail.com

III. SPECIAL USE AND PROPERTY INFORMATION:

Property Address ~~1853~~ 1853 Davis Road
 SBL# 199.03-1-6.1-B-2,6.3+7
 Describe Special Use requested (use additional pages if needed): Outdoor stage, Nature trails, Sculpture park

Property size in acres 8.5 Property Frontage in feet 224.33
 Zoning District B-2 Surrounding Zoning B-2
 Current Use of Property Storage
 Size of existing building(s): 2477 sf Size of proposed building(s) 2864 ^{see note} sf
 Present/Prior tenant/use: Storage
 Parking spaces: Existing: 75 Proposed additional spaces: 138 Total #: 213

79sq' Sound Booth
2485 Ann Stage

300' refreshment stand²

Proposed water service: X public _____ private (well) _____ n/a Is this existing Y/N
 Proposed sanitary sewer: _____ public _____ private (septic) X n/a Is this existing Y/N

Hours of operation (if applicable):

Day	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday	By Appt.
Hours	<u>X</u>	<u>X</u>	<u>10-10</u>	<u>10-10</u>	<u>10-10</u>	<u>10-10</u>	<u>10-4</u>	

Peak hours: 6-10

Number of employees (if applicable): Full-time 10 Part-time 10/14 Seasonal X Yes

Upon approval of this application, the applicant intends to apply for: (Check all that apply)

- a. Building Permit X
- b. Sign Permit X

IV. SIGNATURE (This application must be signed by the applicant/petitioner. If the applicant is not the owner of the property, a separate owner authorization form must be submitted – see pg. 4)

[Signature]
 Signature of Applicant/Petitioner

William PANZICA
 Print name of Applicant/Petitioner

State of New York; County of Erie

On the 30th day of January in the year 2023 before me, the above individual appeared, personally known to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that he/she/they executed the same for the purposes therein stated.

[Signature]
 Notary Public

(Notary stamp) **FAYE SOVEREIGN**
 Notary Public, State of New York
 Qualified in Erie County
 Reg. No. 01506406515
 My Commission Expires 3/30/2024

Office Use Only: Date received: _____ Receipt #: _____

Application reviewed by: _____

Town of Aurora
575 Oakwood Avenue
East Aurora, NY 14052
www.townofaurora.com

**Special Use Permit
Application
Owner Authorization**

The undersigned, who is the owner of the premises know as:

1853 Davis Road
(address), identified as Tax Map (SBL)# 199.03-1-6.1.6.2, 6-3+7

hereby authorizes William Panzica to bring an application for a special use permit before the Town of Aurora Town Board for review and potential approval. The undersigned further permits the Town or its authorized representative(s) access to the property to review existing site conditions during the review process.

William Panzica
Owner (print)

1/30/2023
Date

[Signature]
Owner (signature)

STATE OF NEW YORK)
) SS
COUNTY OF ERIE)

On this 30th day of January, 2023 before me, the undersigned, a notary public in and for said state, personally appeared William Panzica, personally known to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.

[Signature]
Notary Public

FAYE SOVEREIGN
Notary Public, State of New York
Qualified in Erie County
Reg. No. 01506406515
My Commission Expires 3/30/2024

Short Environmental Assessment Form

Part 1 - Project Information

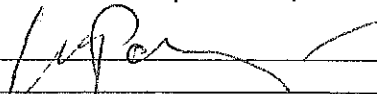
Instructions for Completing

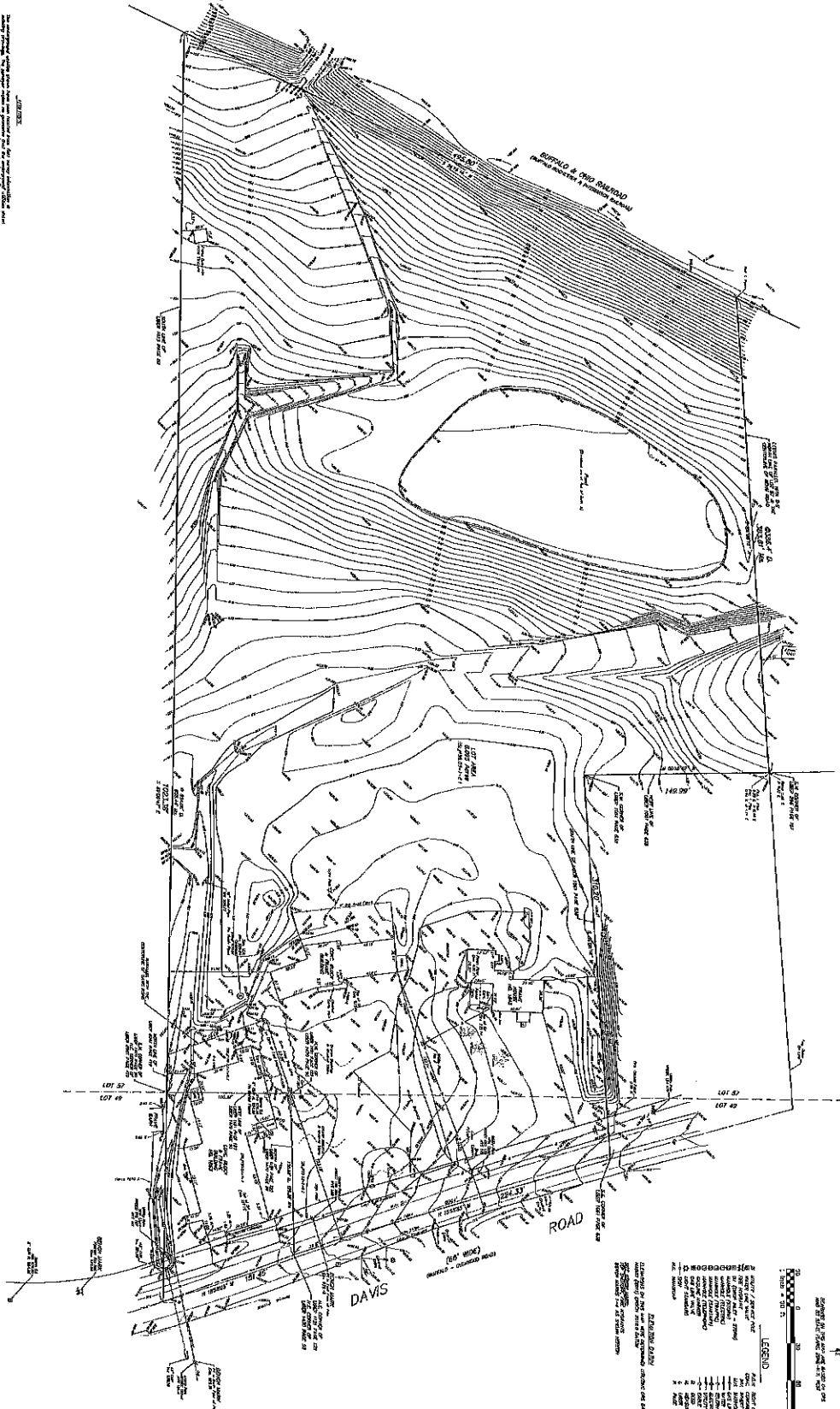
Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
<i>The Beehive</i>			
Name of Action or Project: <i>Build a stage outdoors, Nature trail, Sculpture park</i>			
Project Location (describe, and attach a location map): <i>1863, 1853, 1843 Davis Rd</i>			
Brief Description of Proposed Action: <i>We are a non profit music/arts center we are looking to create sculpture trails & and a outdoor stage. We are looking to host shakespeare in the park, veterans + kids music events along with other musical acts. we currently hold a beer + wine license.</i>			
Name of Applicant or Sponsor: <i>William Panzica</i>		Telephone: <i>716 430-1151</i>	
		E-Mail: <i>Northeast35@gmail</i>	
Address: <i>PO 486</i>			
City/PO: <i>Westfalls</i>		State: <i>NY</i>	Zip Code: <i>14170</i>
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		<i>5.8</i> acres	
b. Total acreage to be physically disturbed?		<i>2.2</i> acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		<i>8.5</i> acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
<input type="checkbox"/> Urban <input checked="" type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input checked="" type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input type="checkbox"/> Parkland			

		NO	YES	N/A
5. Is the proposed action,	a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: <u>until completed porta potties</u> <u>We plan on A new septic plan</u>		<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If Yes, briefly describe: _____ _____		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor/name: <u>William Panzica</u> Date: <u>1/26/2023</u> Signature: <u></u> Title: <u>owner</u>		



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WEST FALLS CENTER FOR THE ARTS EXPANSION

NOT FOR CONSTRUCTION

BID Set: 1/10/2023

client: **WEST FALLS CENTER FOR THE ARTS**
1863 DAVIS RD.
WEST FALLS, NY 14170

copyrighted design:

Buffalo Treehouse

phone 716.833.TREE
www.buffalotreehouse.com



General note:

This contract set of drawings is designed and engineered to meet the most current New York State building code requirements. All general notes reference the building code as a standard and it shall be the discretion of the local code enforcement official to require any additional code provisions above and beyond the code requirements as indicated in the contract document. Buffalo Treehouse LLC, shall not be responsible for any additional cost incurred at the request of the building code official to provide any additional design or construction above what is provided in this contract set.

SHOP DRAWINGS AND LICENSED ENGINEERED PLANS WILL BE PROVIDED AS A COMPONENT OF THE CONSTRUCTION BUILDING SET.



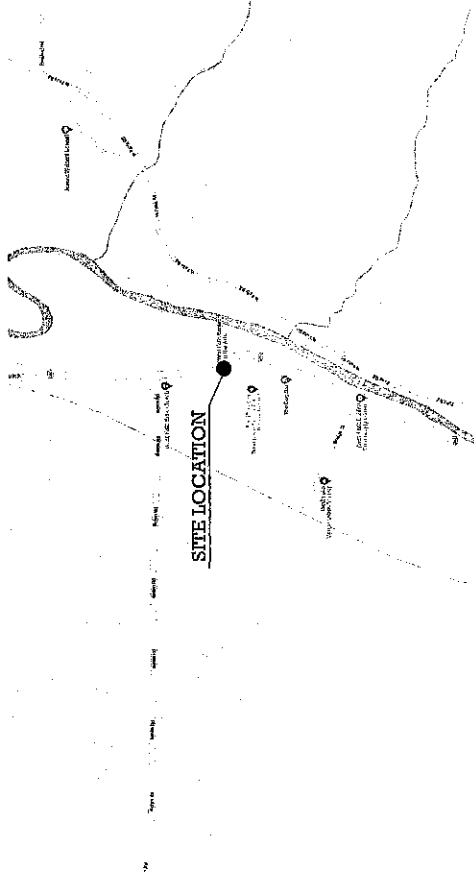
NOT FOR CONSTRUCTION

DATE PLOTTED: 1/10/2023 10:58:11 AM
DRAWING: 1863 DAVIS RD. WEST FALLS CENTER FOR THE ARTS EXPANSION
USER: JEFFREY L. TREES
SCALE: AS SHOWN
PROJECT: WEST FALLS CENTER FOR THE ARTS EXPANSION
DRAWING: 1863 DAVIS RD. WEST FALLS CENTER FOR THE ARTS EXPANSION
DATE PLOTTED: 1/10/2023 10:58:11 AM

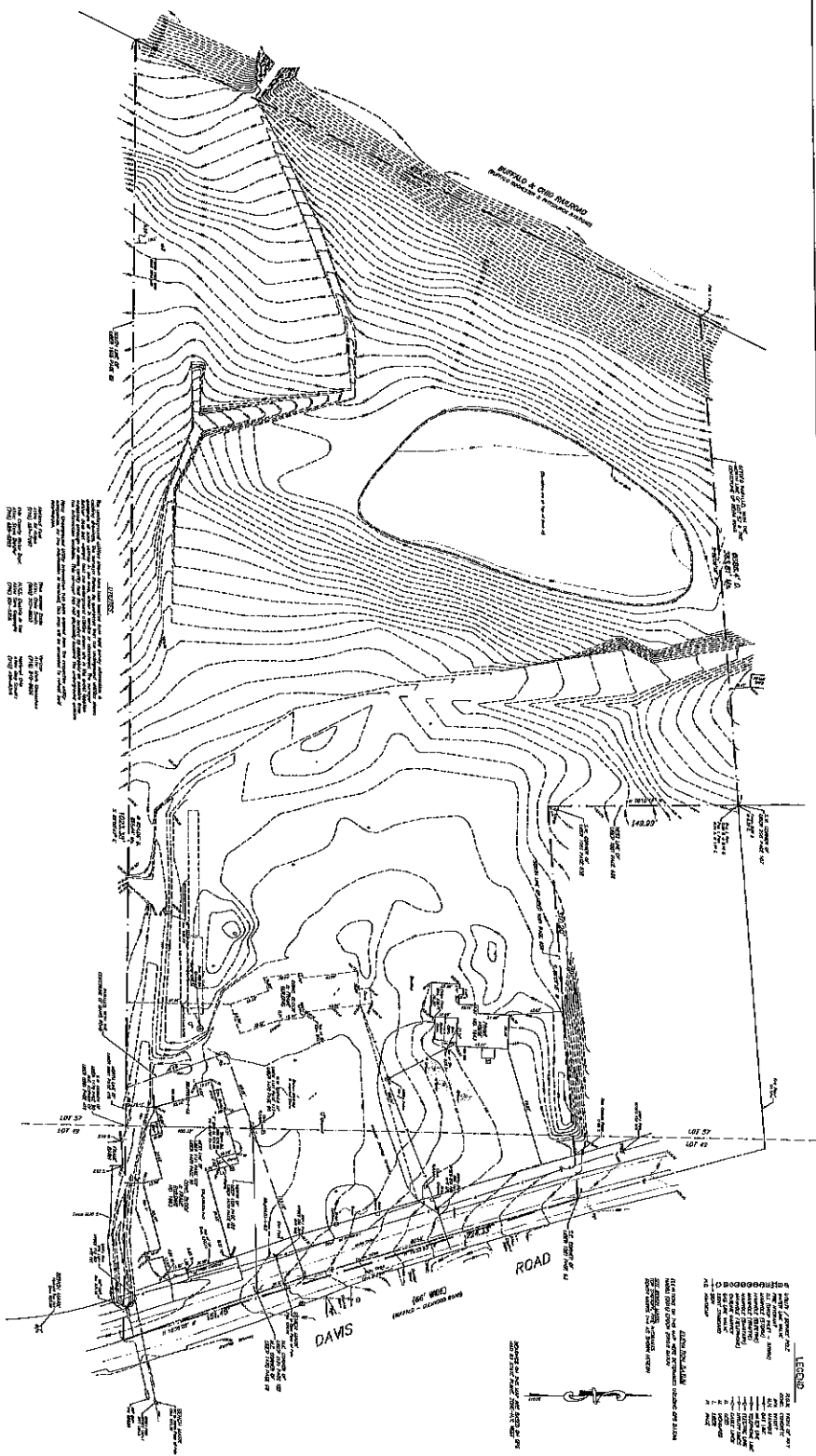
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- SP1.1 GRADING PLAN - PHASE 1
- SP1.2 ENLARGED GRADING PLAN - PHASE 1
- SP1.3 ENLARGED GRADING PLAN - PHASE 1
- SP1.4 PARKING PLAN - PHASE 1
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- A2.1 TREE HOUSE #1 ELEVATIONS AND SECTIONS - PHASE 3 (NOT IN CONTRACT)
- A2.2 TREE HOUSE #2 PLANS - PHASE 3 (NOT IN CONTRACT)
- A2.3 TREE HOUSE #2 ELEVATIONS - PHASE 3 (NOT IN CONTRACT)
- A2.4 TREE HOUSE #3 PLANS AND ELEVATIONS - PHASE 3 (NOT IN CONTRACT)
- A2.5 TREE HOUSE #4 PLANS AND ELEVATIONS - PHASE 3 (NOT IN CONTRACT)
- A2.6 TREE HOUSE #5 PLANS AND ELEVATIONS - PHASE 3 (NOT IN CONTRACT)

LOCATION MAP

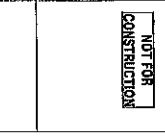


1
EXISTING TOPOGRAPHICAL SURVEY



PROJECT NAME:
WEST FALLS CENTER FOR THE
ARTS EXPANSION
EXISTING TOPO SURVEY

NOT FOR
CONSTRUCTION



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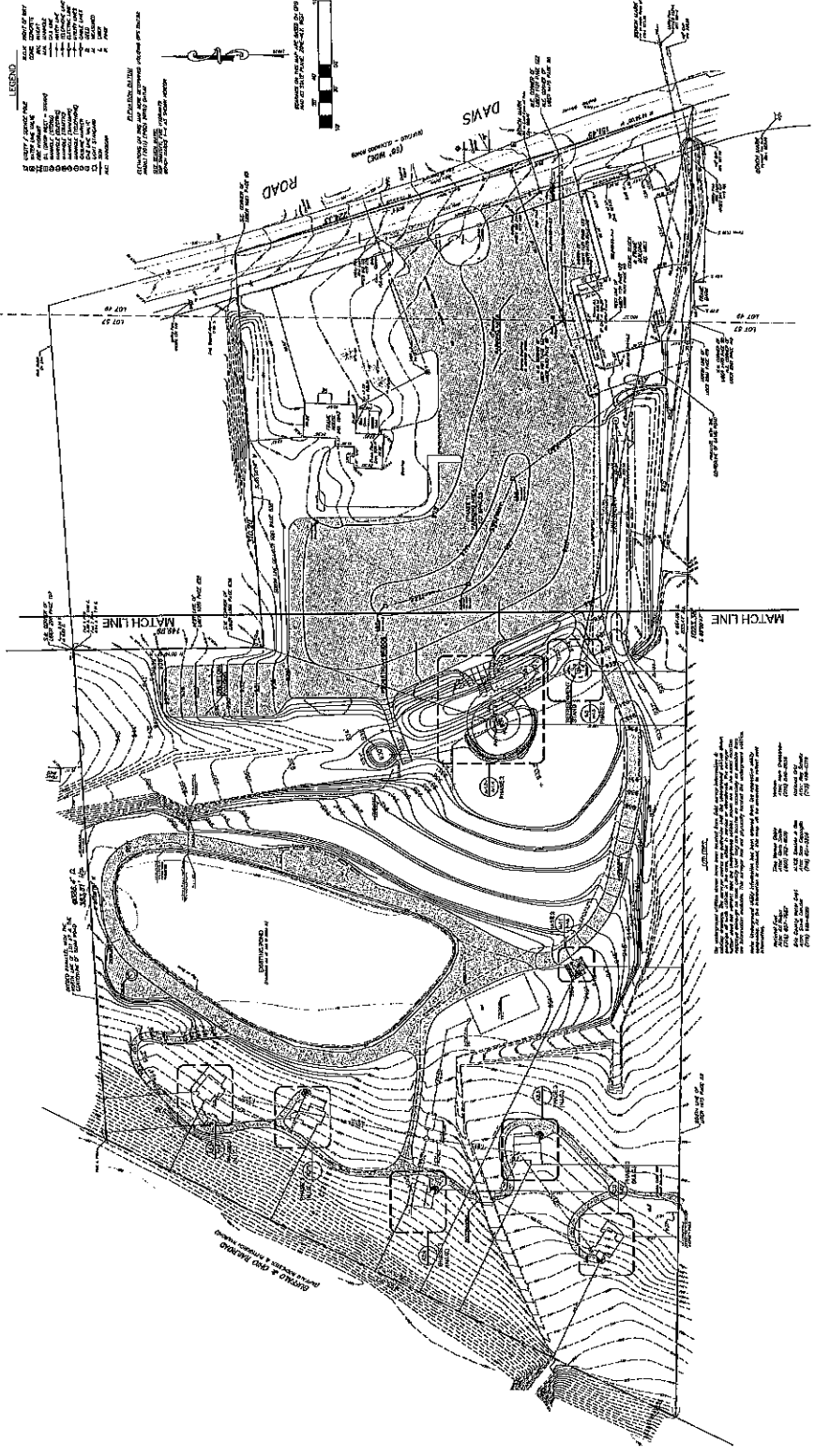
PROJECT NAME:
WEST FALLS CENTER FOR THE
ARTS EXPANSION
GRADING PLAN

DRAWN BY: [Name]
CHECKED BY: [Name]
DATE: [Date]

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CONSTRUCTION

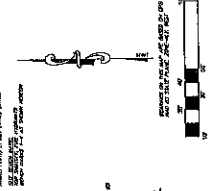


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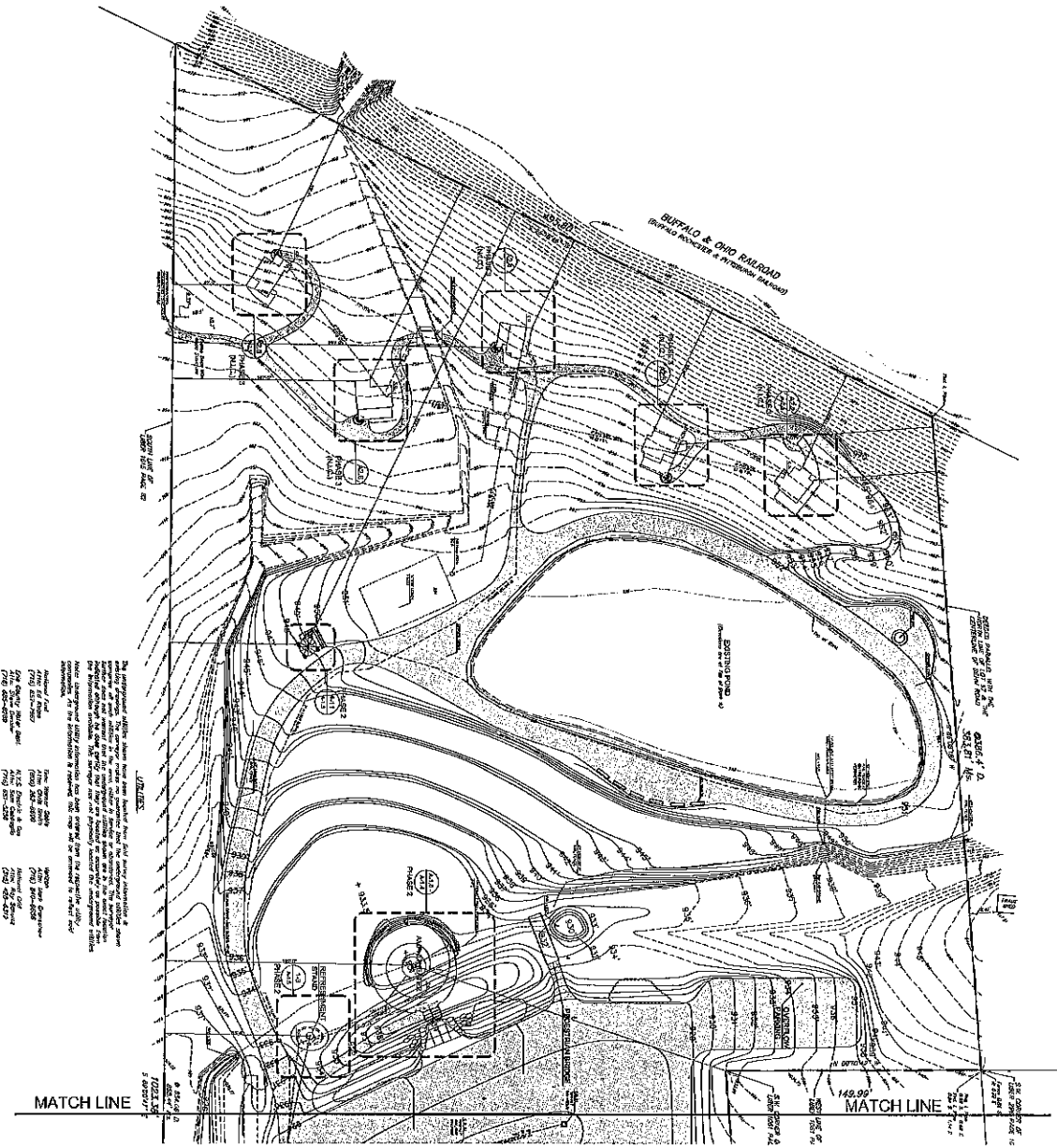


1 GRADING PLAN
1/8"=1'-0"

LEGEND
DOTTED LINE = PROPOSED
SOLID LINE = EXISTING
THICK DOTTED LINE = PROPOSED
THICK SOLID LINE = EXISTING
DASHED LINE = PROPERTY LINE
DASHED LINE WITH SPACES = EASEMENT
DASHED LINE WITH DOTS = RIGHT-OF-WAY
DASHED LINE WITH TRIANGLES = EASEMENT
DASHED LINE WITH CIRCLES = EASEMENT
DASHED LINE WITH SQUARES = EASEMENT
DASHED LINE WITH DIAMONDS = EASEMENT
DASHED LINE WITH STARS = EASEMENT
DASHED LINE WITH X'S = EASEMENT
DASHED LINE WITH PLUS'S = EASEMENT
DASHED LINE WITH MINUS'S = EASEMENT
DASHED LINE WITH AT-SIGNS = EASEMENT
DASHED LINE WITH PERCENT SIGNS = EASEMENT
DASHED LINE WITH DOLLAR SIGNS = EASEMENT
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DASHED LINE WITH DOLLAR SIGNS-WITH-DOTS-WITH-DOTS-WITH-DOTS = EASEMENT
DASHED LINE WITH POUND SIGNS-WITH-DOTS-WITH-DOTS-WITH-DOTS = EASEMENT
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DASHED LINE WITH SUBSCRIPTS-WITH-DOTS-WITH-DOTS-WITH-DOTS = EASEMENT
DASHED LINE WITH CARET-SQUARES-WITH-DOTS-WITH-DOTS-WITH-DOTS = EASEMENT



NOTES
1. ALL PROPOSED GRADING SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION REGULATIONS AND THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION AND PLANNING REGULATIONS.
2. ALL PROPOSED GRADING SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION REGULATIONS AND THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION AND PLANNING REGULATIONS.
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NOTES:

The proposed building footprints shown here have been located from field survey measurements and are shown in solid lines. The existing building footprints are shown in dashed lines. The proposed building footprints are shown in solid lines with a thick border. The existing building footprints are shown in dashed lines with a thick border. The proposed building footprints are shown in solid lines with a thick border. The existing building footprints are shown in dashed lines with a thick border.

LEGEND:

PROPOSED BUILDING FOOTPRINTS
EXISTING BUILDING FOOTPRINTS
PROPOSED DRIVEWAYS
EXISTING DRIVEWAYS
PROPOSED SIDEWALKS
EXISTING SIDEWALKS
PROPOSED GRADING
EXISTING GRADING

MATCH LINE

MATCH LINE

PROJECT NAME:
WEST FALLS CENTER FOR THE
ARTS EXPANSION
GRADING PLAN

NOT FOR
CONSTRUCTION



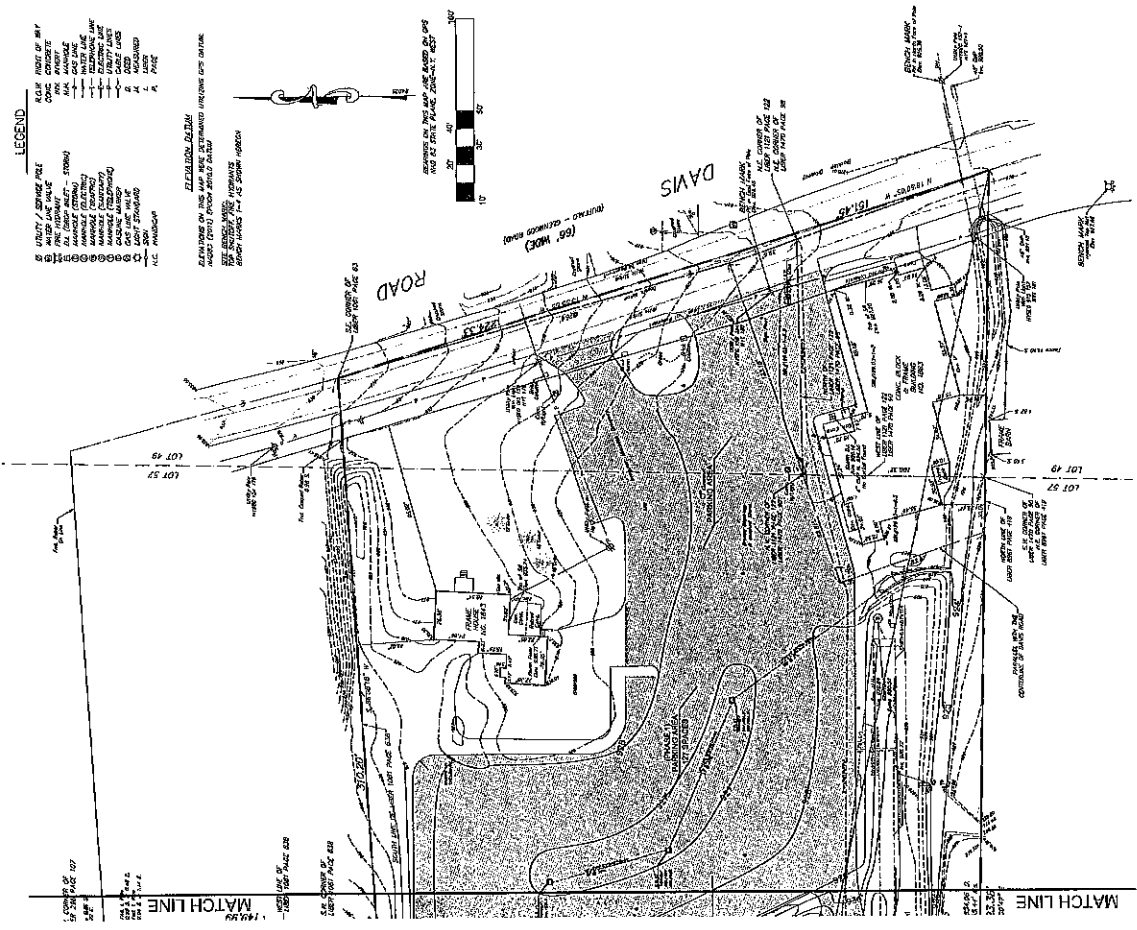
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PROJECT NAME:
 WEST FALLS CENTER FOR THE
 ARTS EXPANSION
 GRADING PLAN

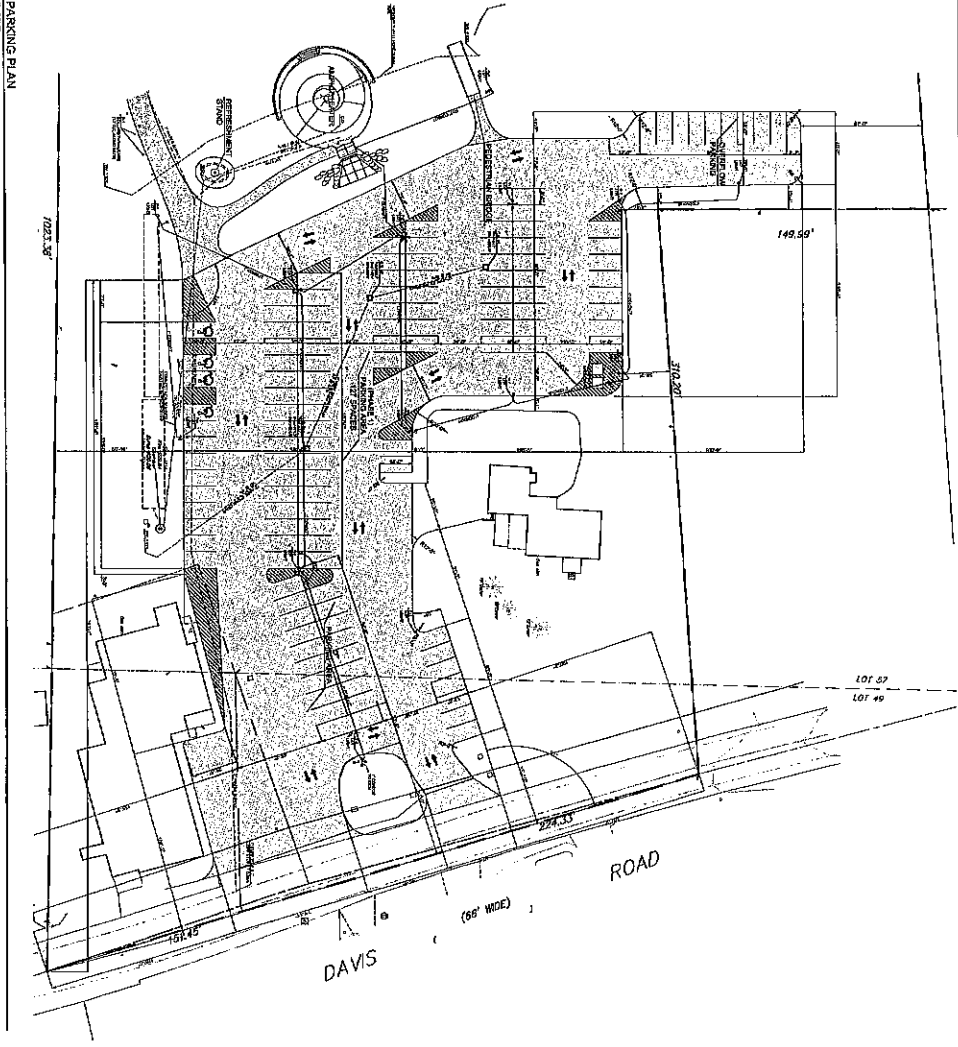
DATE: 08/11/10
 DRAWN BY: JAC
 CHECKED BY: JAC
 SCALE: AS SHOWN
 SHEET NO.: SP1.3



- LEGEND**
- 1. 1" = 10' GRADE
 - 2. 1" = 20' GRADE
 - 3. 1" = 40' GRADE
 - 4. 1" = 60' GRADE
 - 5. 1" = 80' GRADE
 - 6. 1" = 100' GRADE
 - 7. 1" = 120' GRADE
 - 8. 1" = 140' GRADE
 - 9. 1" = 160' GRADE
 - 10. 1" = 180' GRADE
 - 11. 1" = 200' GRADE
 - 12. 1" = 220' GRADE
 - 13. 1" = 240' GRADE
 - 14. 1" = 260' GRADE
 - 15. 1" = 280' GRADE
 - 16. 1" = 300' GRADE
 - 17. 1" = 320' GRADE
 - 18. 1" = 340' GRADE
 - 19. 1" = 360' GRADE
 - 20. 1" = 380' GRADE
 - 21. 1" = 400' GRADE
 - 22. 1" = 420' GRADE
 - 23. 1" = 440' GRADE
 - 24. 1" = 460' GRADE
 - 25. 1" = 480' GRADE
 - 26. 1" = 500' GRADE
 - 27. 1" = 520' GRADE
 - 28. 1" = 540' GRADE
 - 29. 1" = 560' GRADE
 - 30. 1" = 580' GRADE
 - 31. 1" = 600' GRADE
 - 32. 1" = 620' GRADE
 - 33. 1" = 640' GRADE
 - 34. 1" = 660' GRADE
 - 35. 1" = 680' GRADE
 - 36. 1" = 700' GRADE
 - 37. 1" = 720' GRADE
 - 38. 1" = 740' GRADE
 - 39. 1" = 760' GRADE
 - 40. 1" = 780' GRADE
 - 41. 1" = 800' GRADE
 - 42. 1" = 820' GRADE
 - 43. 1" = 840' GRADE
 - 44. 1" = 860' GRADE
 - 45. 1" = 880' GRADE
 - 46. 1" = 900' GRADE
 - 47. 1" = 920' GRADE
 - 48. 1" = 940' GRADE
 - 49. 1" = 960' GRADE
 - 50. 1" = 980' GRADE
 - 51. 1" = 1000' GRADE

1 GRADING PLAN

1 PARKING PLAN



1-15-24
SP 1 4

PROJECT NAME:
WEST FALLS CENTER FOR THE
ARTS EXPANSION
PARKING PLAN

NOT FOR
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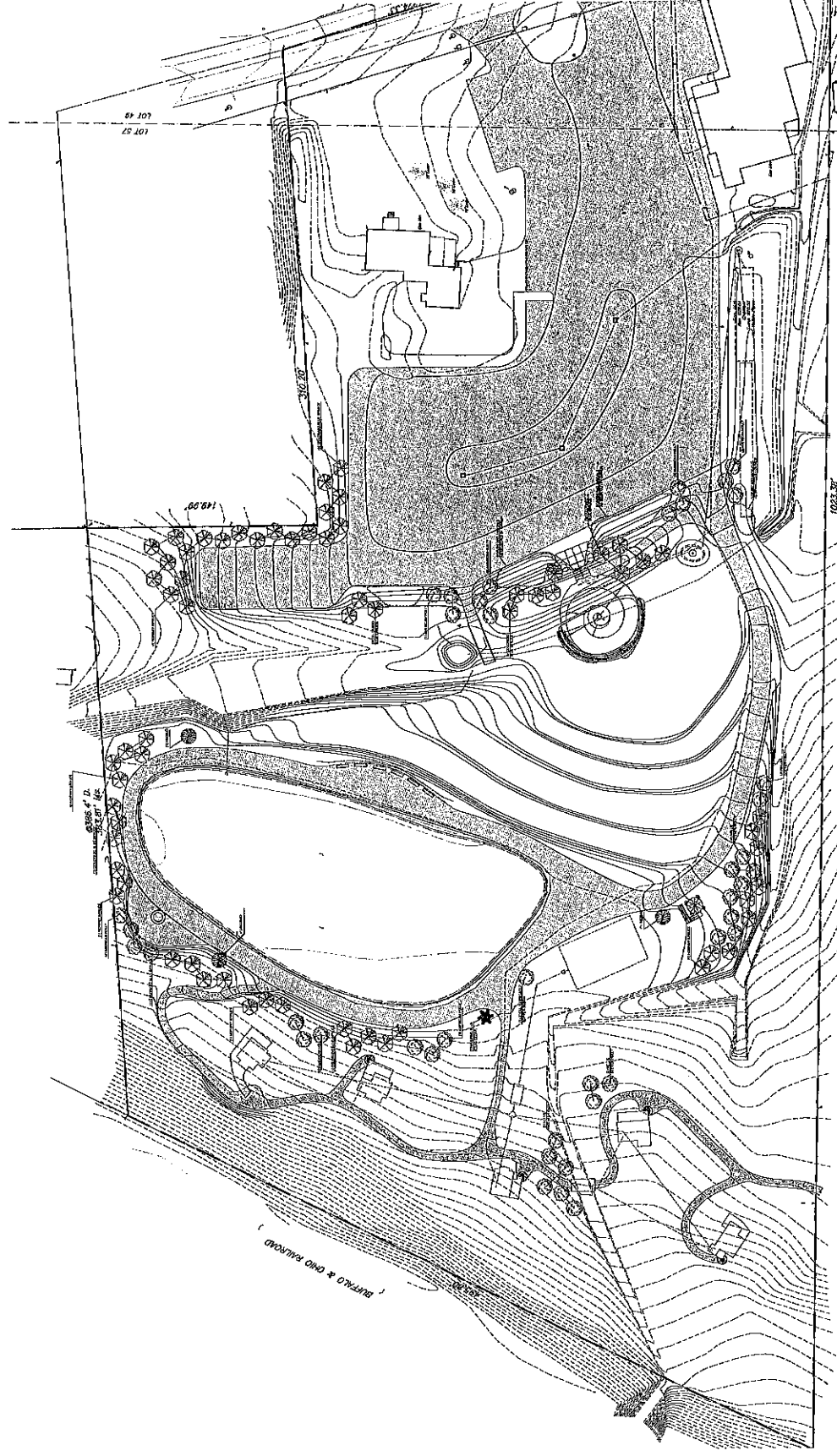


NOT FOR
 CONSTRUCTION

PROJECT NAME:
 WEST FALLS CENTER FOR THE
 ARTS EXPANSION
 ENLARGED LANDSCAPING PLAN

DATE: 11/15/11
 SCALE: AS SHOWN
 DRAWN BY: J. W. WOOD
 CHECKED BY: J. W. WOOD
 DATE: 11/15/11

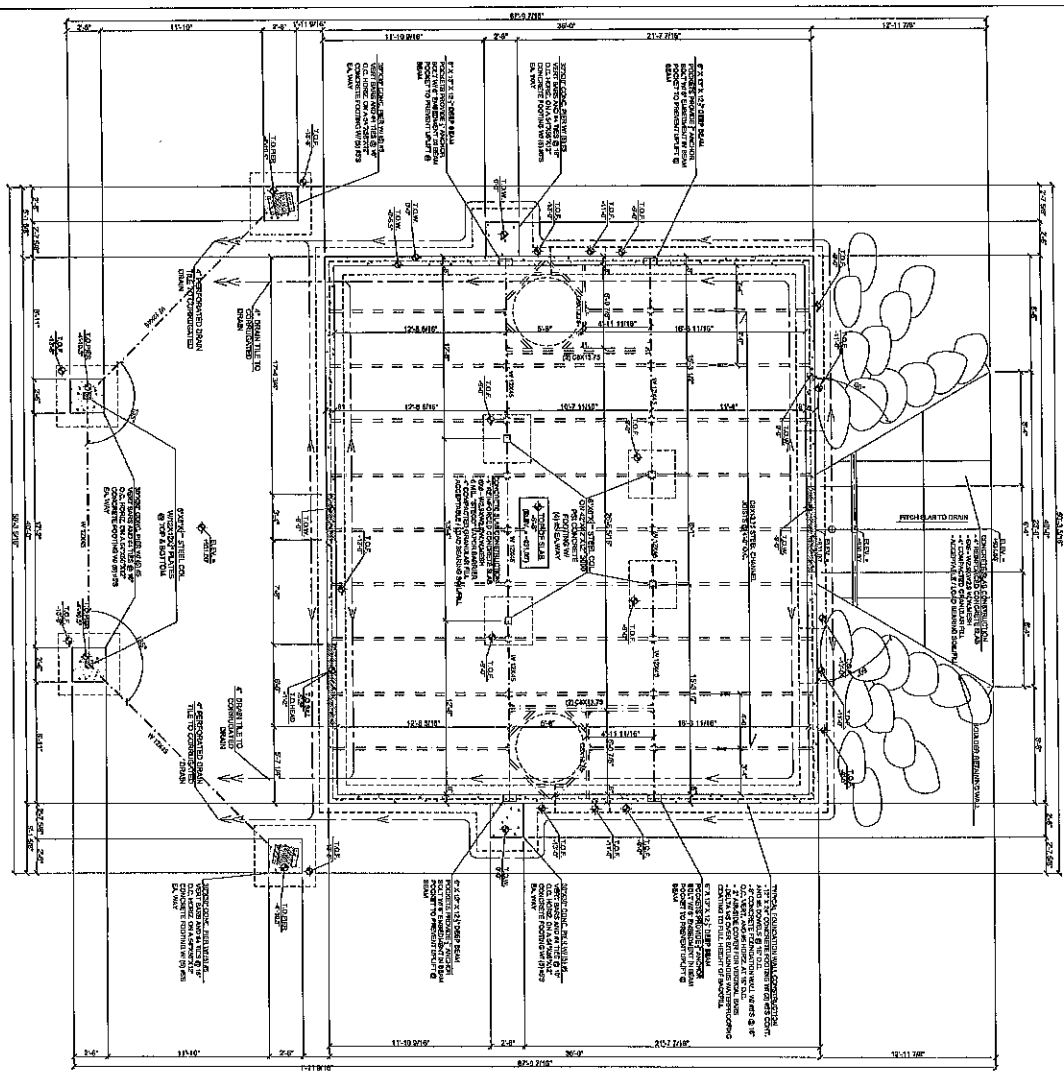
SP1.5
 11-16-11



1 LANDSCAPING PLAN
 11-16-11

PLANT MATERIAL LIST:

QTY	SIZE	SPECIES NAME
18	10-12 FT.	NELLE STEVEN HOLLY
3	2'-3" CAL.	REDBUD
41	18-22 FT.	COLORADO BLUE SPRUCE
22	18-22 FT.	AMERICAN HOLLY
1	8-10 FT.	WEeping BLUE ALAS CEDAR
1	5' CAL.	WAVEGATED COPPER BEECH



CONCRETE

1. CONCRETE SHALL BE FURNISHED AND PLACED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE AMERICAN CONCRETE INSTITUTE, INC. (ACI) AND THE AMERICAN SOCIETY OF CIVIL ENGINEERS (ASCE).
2. ALL CONCRETE SHALL BE PLACED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE AMERICAN CONCRETE INSTITUTE, INC. (ACI) AND THE AMERICAN SOCIETY OF CIVIL ENGINEERS (ASCE).
3. ALL CONCRETE SHALL BE PLACED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE AMERICAN CONCRETE INSTITUTE, INC. (ACI) AND THE AMERICAN SOCIETY OF CIVIL ENGINEERS (ASCE).
4. ALL CONCRETE SHALL BE PLACED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE AMERICAN CONCRETE INSTITUTE, INC. (ACI) AND THE AMERICAN SOCIETY OF CIVIL ENGINEERS (ASCE).

CONCRETE QUALITY DESIGN AND CONTROL

USE	CLASS	MIN. COMP. STRENGTH (PSI)	MIN. SLAB THICKNESS (IN)	MIN. SLAB WIDTH (IN)	MIN. SLAB DEPTH (IN)	MIN. SLAB AREA (SQ FT)
FOOTING	A	3000	12-18	12	12	324
FOUNDATION WALLS	A	3000	12-18	12	12	324
SLAB ON GRADE	C	3000	12-18	12	12	324
ROOF	A	3000	12-18	12	12	324

WOOD FRAMING AND SHEETING NOTES

1. ALL WOOD SHALL BE FURNISHED AND PLACED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE AMERICAN WOOD PRESERVATION ASSOCIATION (AWPA).
2. ALL WOOD SHALL BE FURNISHED AND PLACED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE AMERICAN WOOD PRESERVATION ASSOCIATION (AWPA).
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WOOD FRAMING AND SHEETING NOTES CONT.

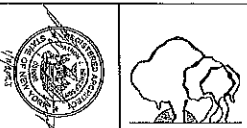
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4. ALL WOOD SHALL BE FURNISHED AND PLACED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE AMERICAN WOOD PRESERVATION ASSOCIATION (AWPA).

FLASHING

1. ALL FLASHING SHALL BE FURNISHED AND PLACED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE AMERICAN WOOD PRESERVATION ASSOCIATION (AWPA).
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4. ALL FLASHING SHALL BE FURNISHED AND PLACED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE AMERICAN WOOD PRESERVATION ASSOCIATION (AWPA).

CONNECTORS FASTENERS

1. ALL CONNECTORS SHALL BE FURNISHED AND PLACED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE AMERICAN WOOD PRESERVATION ASSOCIATION (AWPA).
2. ALL CONNECTORS SHALL BE FURNISHED AND PLACED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE AMERICAN WOOD PRESERVATION ASSOCIATION (AWPA).
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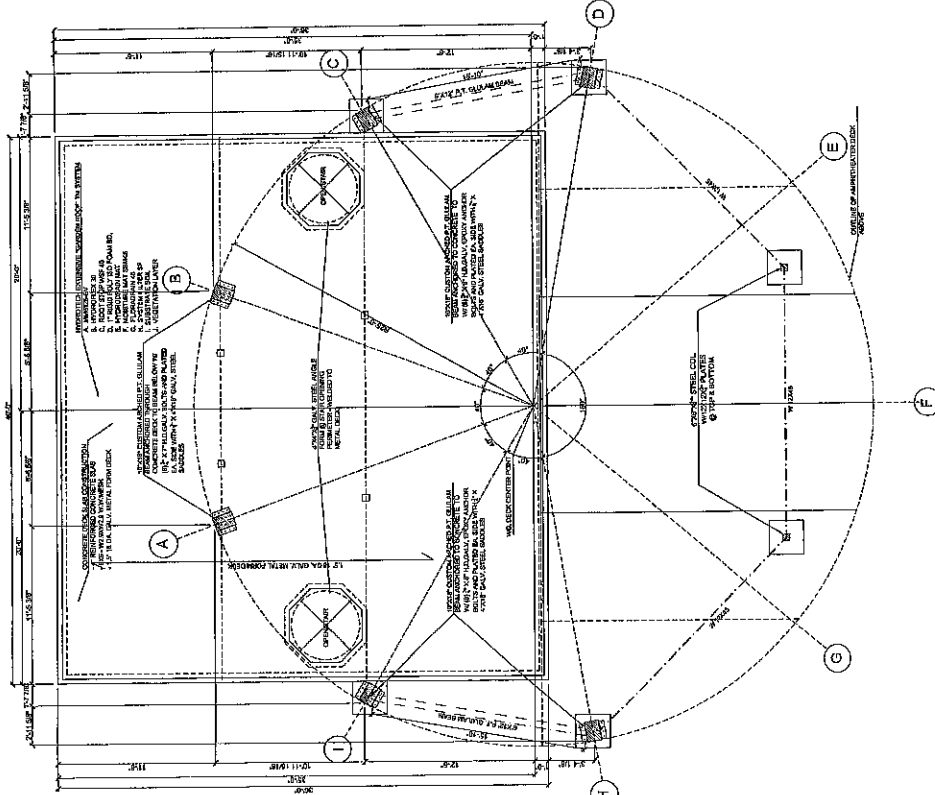
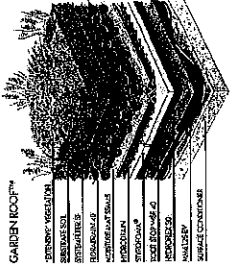
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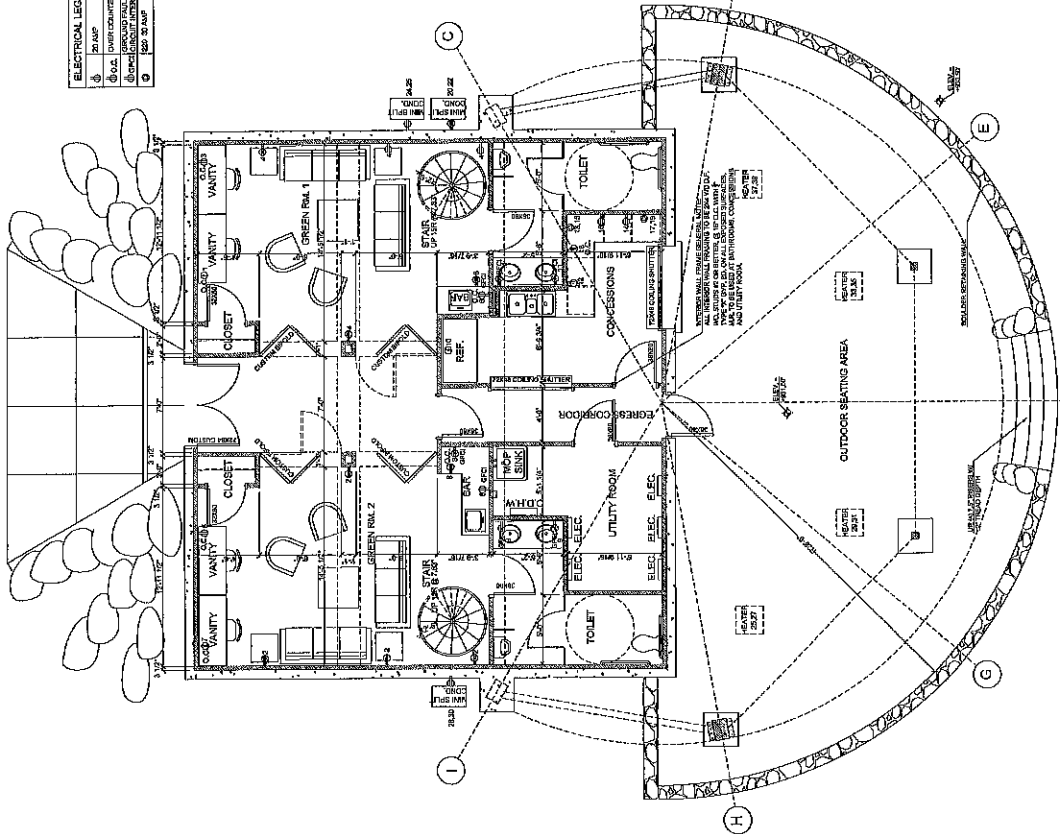
NOT FOR
CONSTRUCTION

PROJECT NAME: WEST FALLS CENTER FOR THE ARTS EXPANSION - PHASE 2
AMPHITHEATER PLANS

APPROVED BY: [Signature]
DATE: 11-15-11
SCALE: AS SHOWN
SHEET: 01-11
OF: 11

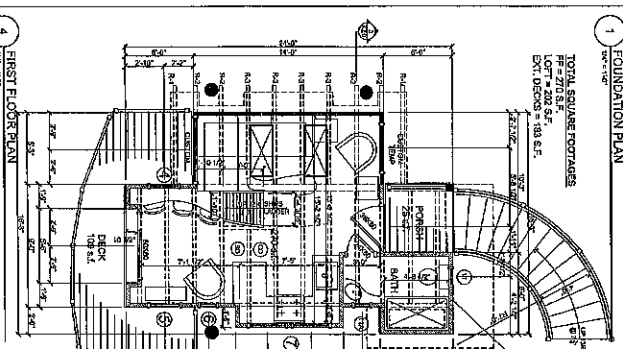


[Symbol]	30 AMP
[Symbol]	LINE CONNECT
[Symbol]	GROUND FAULT
[Symbol]	GROUND FAULT INTERRUPTER
[Symbol]	WIP 20 AMP

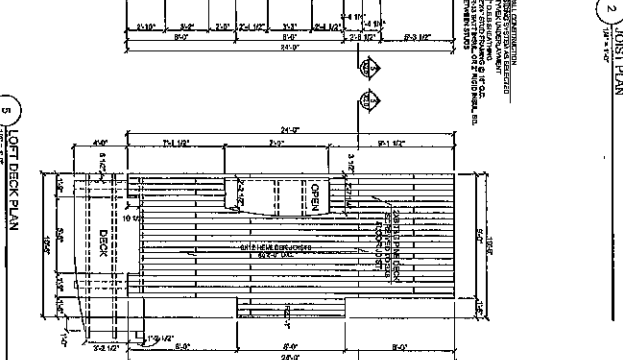


2 AMPHITHEATER BEAM LAYOUT

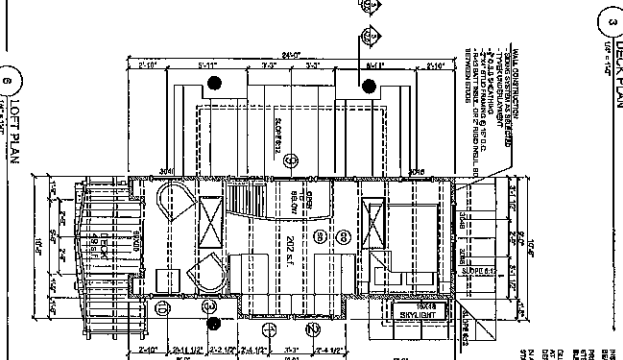
1 AMPHITHEATER GREEN ROOM PLANS



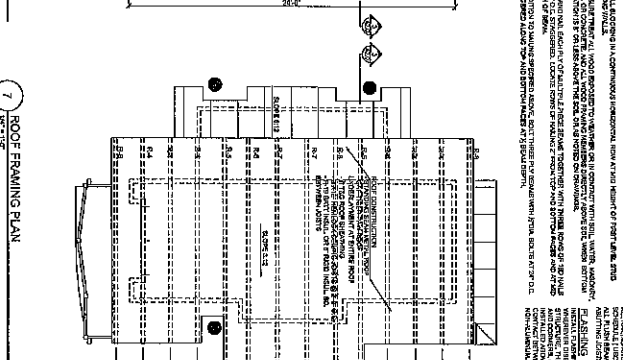
1 FOUNDATION PLAN
SCALE: 1/8" = 1'-0"



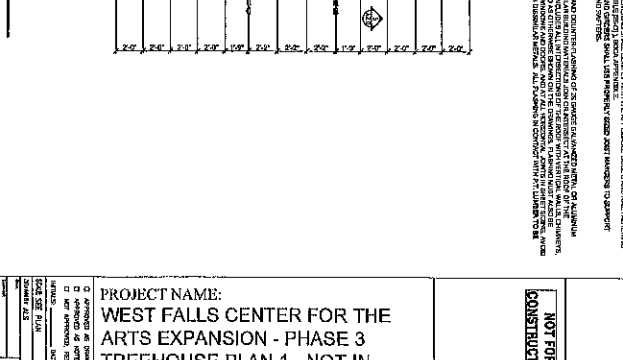
2 MOIST PLAN
SCALE: 1/8" = 1'-0"



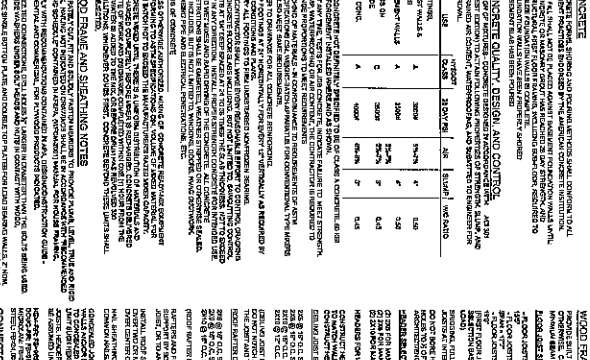
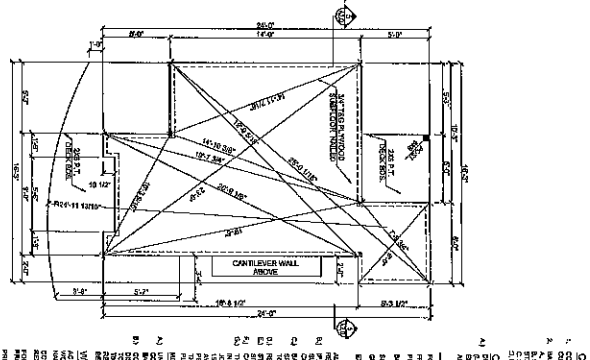
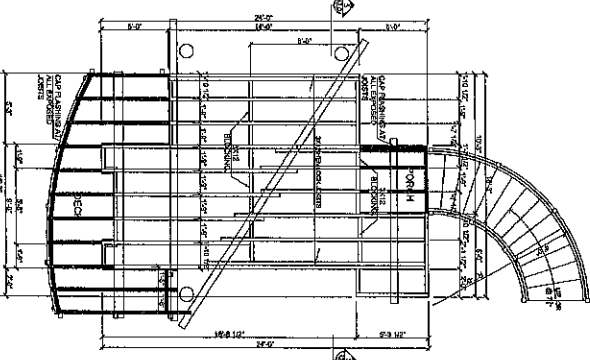
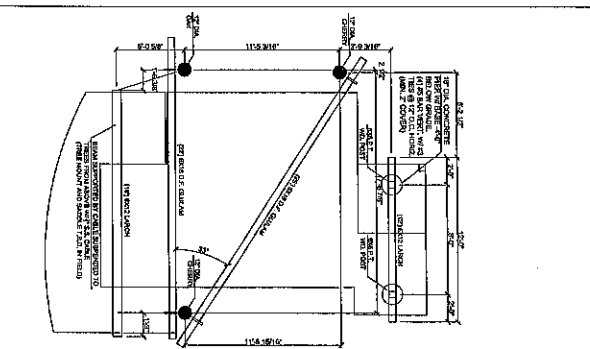
3 DECK PLAN
SCALE: 1/8" = 1'-0"



4 LOFT PLAN
SCALE: 1/8" = 1'-0"



7 ROOF FRAMING PLAN
SCALE: 1/8" = 1'-0"



CONCRETE

1. CONCRETE SHALL BE PLACED AND FINISHED TO THE FOLLOWING SPECIFICATIONS:
2. ALL CONCRETE SHALL BE PLACED IN ONE RISE.
3. ALL CONCRETE SHALL BE PLACED IN ONE RISE.
4. ALL CONCRETE SHALL BE PLACED IN ONE RISE.
5. ALL CONCRETE SHALL BE PLACED IN ONE RISE.
6. ALL CONCRETE SHALL BE PLACED IN ONE RISE.
7. ALL CONCRETE SHALL BE PLACED IN ONE RISE.
8. ALL CONCRETE SHALL BE PLACED IN ONE RISE.
9. ALL CONCRETE SHALL BE PLACED IN ONE RISE.
10. ALL CONCRETE SHALL BE PLACED IN ONE RISE.

WOOD FRAMING AND SHEATHING NOTES CONT.

1. ALL WOOD SHALL BE DRY AND FREE FROM DEFECTS.
2. ALL WOOD SHALL BE DRY AND FREE FROM DEFECTS.
3. ALL WOOD SHALL BE DRY AND FREE FROM DEFECTS.
4. ALL WOOD SHALL BE DRY AND FREE FROM DEFECTS.
5. ALL WOOD SHALL BE DRY AND FREE FROM DEFECTS.
6. ALL WOOD SHALL BE DRY AND FREE FROM DEFECTS.
7. ALL WOOD SHALL BE DRY AND FREE FROM DEFECTS.
8. ALL WOOD SHALL BE DRY AND FREE FROM DEFECTS.
9. ALL WOOD SHALL BE DRY AND FREE FROM DEFECTS.
10. ALL WOOD SHALL BE DRY AND FREE FROM DEFECTS.

CONCRETE QUALITY, DESIGN AND CONTROL

1. ALL CONCRETE SHALL BE PLACED AND FINISHED TO THE FOLLOWING SPECIFICATIONS:
2. ALL CONCRETE SHALL BE PLACED IN ONE RISE.
3. ALL CONCRETE SHALL BE PLACED IN ONE RISE.
4. ALL CONCRETE SHALL BE PLACED IN ONE RISE.
5. ALL CONCRETE SHALL BE PLACED IN ONE RISE.
6. ALL CONCRETE SHALL BE PLACED IN ONE RISE.
7. ALL CONCRETE SHALL BE PLACED IN ONE RISE.
8. ALL CONCRETE SHALL BE PLACED IN ONE RISE.
9. ALL CONCRETE SHALL BE PLACED IN ONE RISE.
10. ALL CONCRETE SHALL BE PLACED IN ONE RISE.

WOOD FRAMING AND SHEATHING NOTES

1. ALL WOOD SHALL BE DRY AND FREE FROM DEFECTS.
2. ALL WOOD SHALL BE DRY AND FREE FROM DEFECTS.
3. ALL WOOD SHALL BE DRY AND FREE FROM DEFECTS.
4. ALL WOOD SHALL BE DRY AND FREE FROM DEFECTS.
5. ALL WOOD SHALL BE DRY AND FREE FROM DEFECTS.
6. ALL WOOD SHALL BE DRY AND FREE FROM DEFECTS.
7. ALL WOOD SHALL BE DRY AND FREE FROM DEFECTS.
8. ALL WOOD SHALL BE DRY AND FREE FROM DEFECTS.
9. ALL WOOD SHALL BE DRY AND FREE FROM DEFECTS.
10. ALL WOOD SHALL BE DRY AND FREE FROM DEFECTS.

WOOD FRAMING AND SHEATHING NOTES

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4. ALL WOOD SHALL BE DRY AND FREE FROM DEFECTS.
5. ALL WOOD SHALL BE DRY AND FREE FROM DEFECTS.
6. ALL WOOD SHALL BE DRY AND FREE FROM DEFECTS.
7. ALL WOOD SHALL BE DRY AND FREE FROM DEFECTS.
8. ALL WOOD SHALL BE DRY AND FREE FROM DEFECTS.
9. ALL WOOD SHALL BE DRY AND FREE FROM DEFECTS.
10. ALL WOOD SHALL BE DRY AND FREE FROM DEFECTS.

CONNECTIONS & FASTENERS

1. ALL WOOD SHALL BE DRY AND FREE FROM DEFECTS.
2. ALL WOOD SHALL BE DRY AND FREE FROM DEFECTS.
3. ALL WOOD SHALL BE DRY AND FREE FROM DEFECTS.
4. ALL WOOD SHALL BE DRY AND FREE FROM DEFECTS.
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7. ALL WOOD SHALL BE DRY AND FREE FROM DEFECTS.
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WOOD FRAMING AND SHEATHING NOTES

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9. ALL WOOD SHALL BE DRY AND FREE FROM DEFECTS.
10. ALL WOOD SHALL BE DRY AND FREE FROM DEFECTS.

CONNECTIONS & FASTENERS

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2. ALL WOOD SHALL BE DRY AND FREE FROM DEFECTS.
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4. ALL WOOD SHALL BE DRY AND FREE FROM DEFECTS.
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6. ALL WOOD SHALL BE DRY AND FREE FROM DEFECTS.
7. ALL WOOD SHALL BE DRY AND FREE FROM DEFECTS.
8. ALL WOOD SHALL BE DRY AND FREE FROM DEFECTS.
9. ALL WOOD SHALL BE DRY AND FREE FROM DEFECTS.
10. ALL WOOD SHALL BE DRY AND FREE FROM DEFECTS.

PROJECT NAME:
WEST FALLS CENTER FOR THE
ARTS EXPANSION - PHASE 3
TREEHOUSE PLAN 1 - NOT IN
CONTRACT

NOT FOR
CONSTRUCTION



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phone 716.833.TREE
www.buffalotreehouse.com

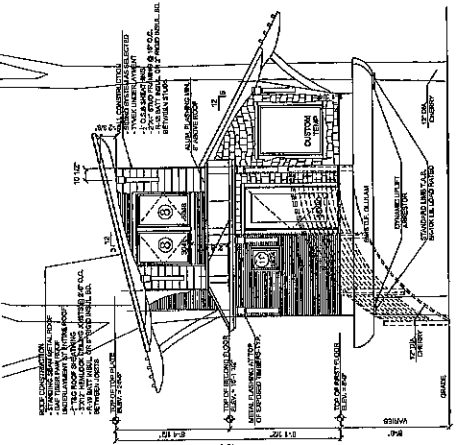
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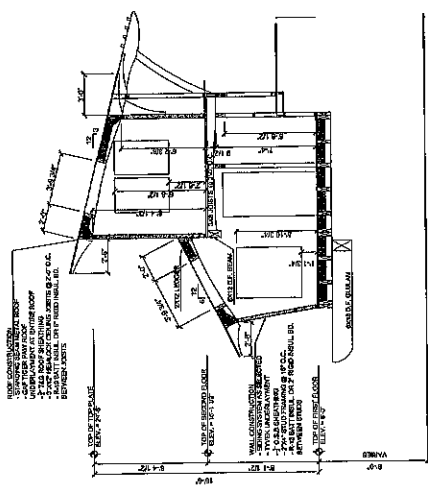
NOT FOR CONSTRUCTION

PROJECT NAME: WEST FALLS CENTER FOR THE ARTS EXPANSION - PHASE 3
 TREEHOUSE PLAN 1 ELEVATIONS -
 NOT IN CONTRACT

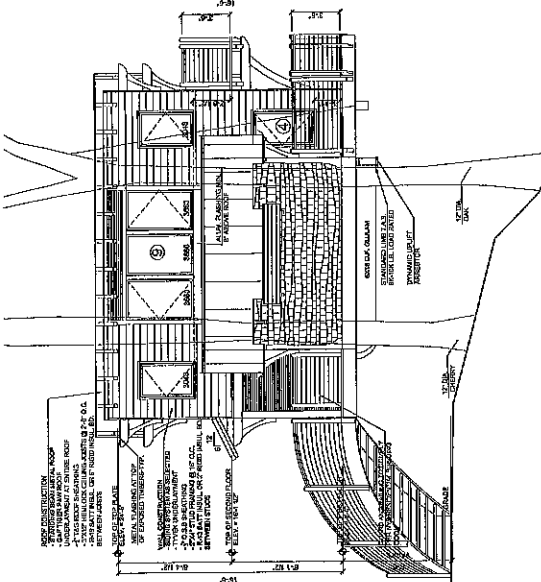
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 CHECKED BY: [Unreadable]
 SCALE: 1/8" = 1'-0"
 SHEET: A2.1



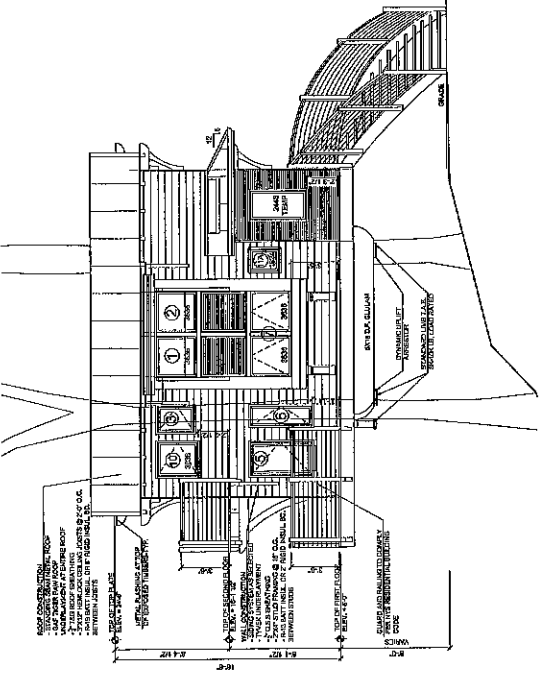
1 TREEHOUSE 1 EAST ELEVATION
 1/8" = 1'-0"



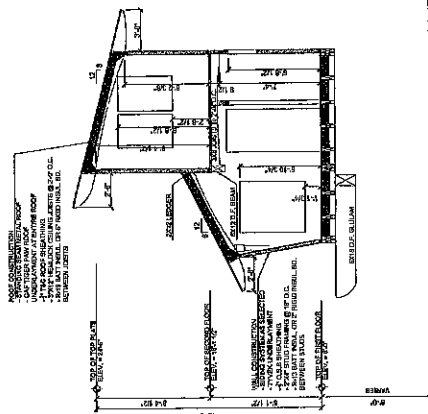
2 TREEHOUSE 1 NORTH ELEVATION
 1/8" = 1'-0"



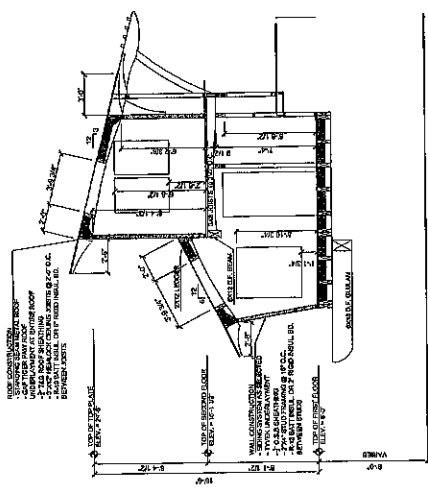
3 TREEHOUSE 1 WEST ELEVATION
 1/8" = 1'-0"



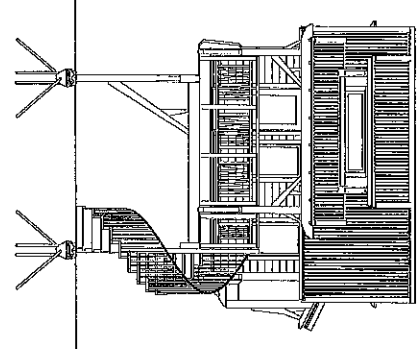
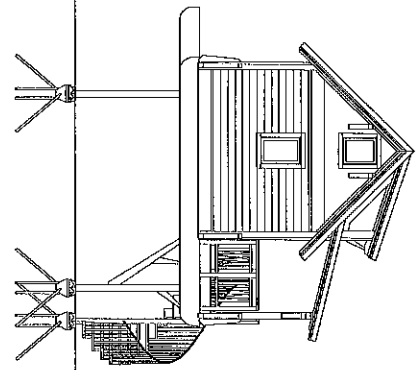
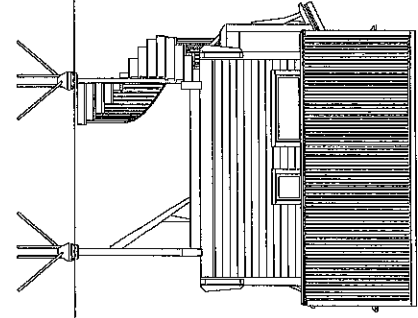
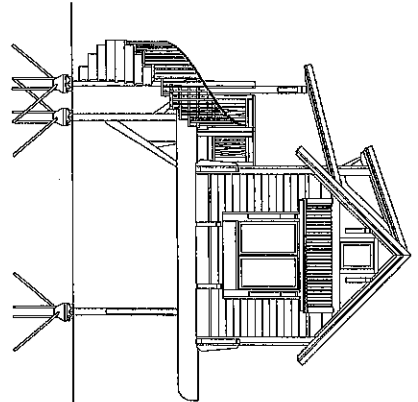
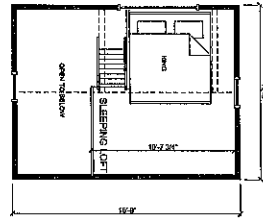
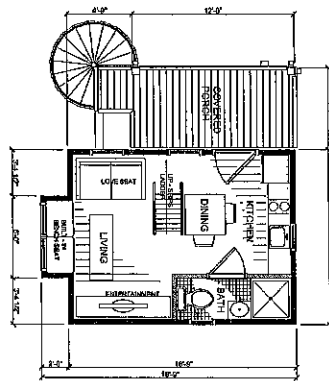
4 TREEHOUSE 1 SOUTH ELEVATION
 1/8" = 1'-0"



5 TREEHOUSE 1 SECTION
 1/8" = 1'-0"



6 TREEHOUSE 1 SECTION
 1/8" = 1'-0"



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PROJECT NAME:
WEST FALLS CENTER FOR THE
ARTS EXPANSION - PHASE 3
TREEHOUSE 3 PLANS AND
ELEVATIONS - NOT IN CONTRACT

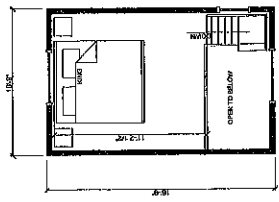
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DATE: 04/10/12
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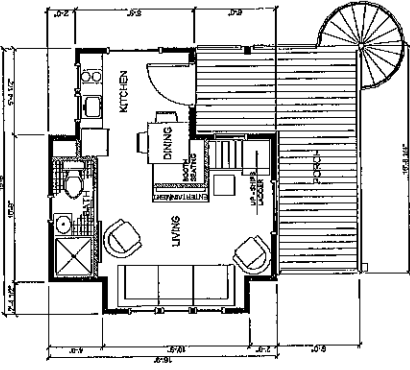
NOT FOR CONSTRUCTION

**PROJECT NAME: WEST FALLS CENTER FOR THE ARTS EXPANSION - PHASE 3
 TREEHOUSE 4 PLANS AND ELEVATIONS - NOT IN CONTRACT**

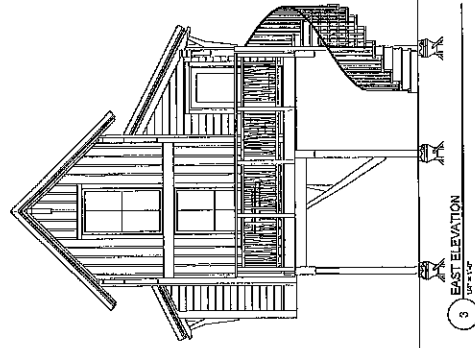
DATE: 10/15/10
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 CHECKED BY: [unreadable]
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 SHEET: A2.5



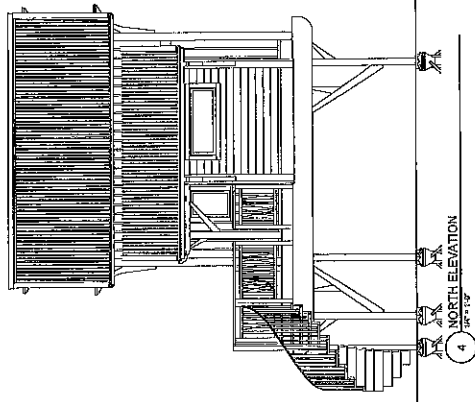
2 LOFT PLAN
1/8" = 1'-0"



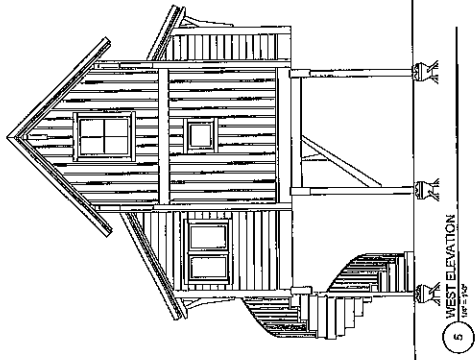
1 FIRST FLOOR PLAN
1/8" = 1'-0"



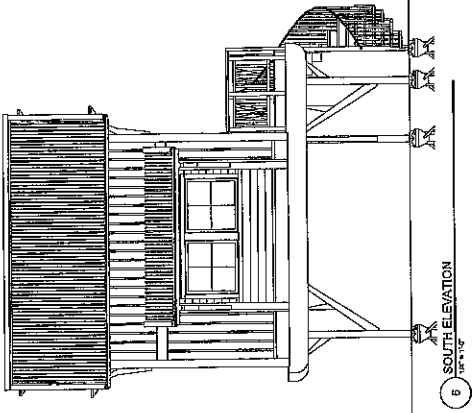
3 EAST ELEVATION
1/8" = 1'-0"



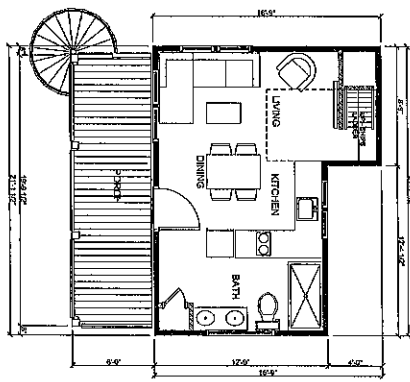
4 NORTH ELEVATION
1/8" = 1'-0"



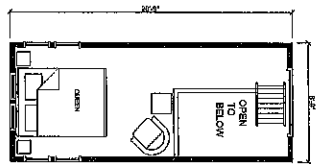
5 WEST ELEVATION
1/8" = 1'-0"



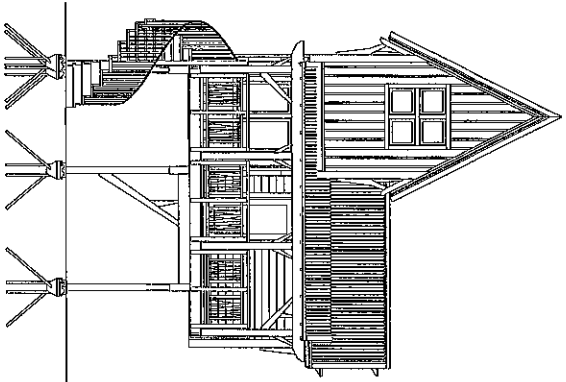
6 SOUTH ELEVATION
1/8" = 1'-0"



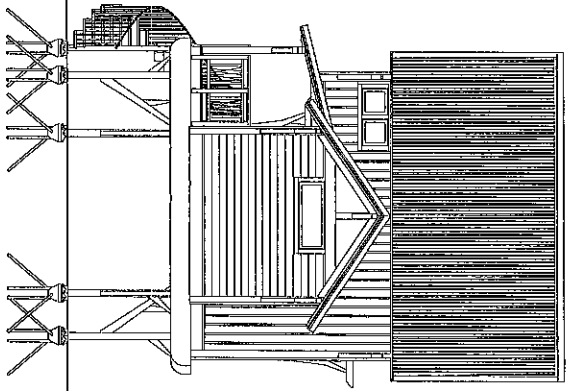
1 FIRST FLOOR PLAN
1/8" = 1'-0"



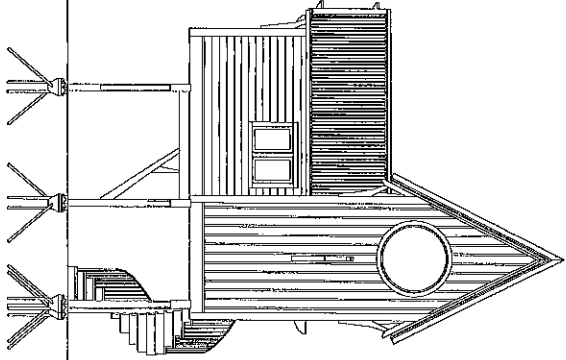
2 LOFT PLAN
1/8" = 1'-0"



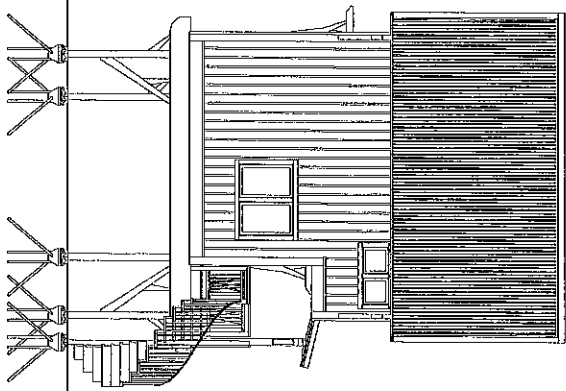
3 EAST ELEVATION
1/8" = 1'-0"



4 NORTH ELEVATION
1/8" = 1'-0"



5 WEST ELEVATION
1/8" = 1'-0"



6 SOUTH ELEVATION
1/8" = 1'-0"

PROJECT NAME:
WEST FALLS CENTER FOR THE
ARTS EXPANSION - PHASE 3
TREEHOUSE 5 PLANS AND
ELEVATIONS - NOT IN CONTRACT

DATE: 10/15/13
SCALE: AS SHOWN
DRAWN BY: JAC
CHECKED BY: JAC

1/8" = 1'-0"

A2.6

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