

PAID
75.00

OK as to form only

**TOWN OF AURORA
Zoning Board of Appeals Request**

Building Application _____
Building Permit _____

Zoning Appeal Case No. 1253
Date 10/15/15

TO THE ZONING BOARD OF APPEALS, TOWN OF AURORA, NEW YORK

I, (we) Michael P. Tucker ^{AAF. ROBERTA R. TAYLOR} of Sharp General Contracting Inc.
HEREBY APPEAL TO THE ZONING BOARD OF APPEALS FROM THE DECISION OF THE BUILDING
INSPECTOR on APPLICATION NO. _____ WHEREBY THE BUILDING INSPECTOR DID DENY

TO Michael P. Tucker of Sharp General Contracting
Name of Applicant

OF 1810 Military Rd. #300, Tonawanda, NY 14217
(Street & Number) (Municipality) (State)

- A PERMIT FOR USE
- A VARIANCE FROM ZONING ORDINANCE
- A TEMPORARY PERMIT OR EXTENSION THEREOF
- A CERTIFICATE OF EXISTING USE
- A PERMIT FOR OCCUPANCY

1. LOCATION OF THE PROPERTY 1256 Luther Rd. East Aurora, NY 14052
SBL # 1810.00-2-39.1 ZONE DISTRICT A

2. PROVISION(S) OF THE ZONING ORDINANCE APPEALED. (Indicate the Article, section, sub-section, and paragraph of the Zoning Ordinance being appealed, by number. Do not quote the Ordinance)

Table of District Regulations - front yd setback

3. TYPE OF APPEAL. Appeal is made herewith for:
 An interpretation A variance - to the Zoning Ordinance
 An exception A temporary permit

4. A PREVIOUS APPEAL has has not been made with respect to this decision of the Building Inspector or with respect to this property

NAMES AND ADDRESSES OF OWNERS OF ABUTTING PROPERTIES ARE:
See attached list marked as an exhibit.

STATE OF NEW YORK
COUNTY OF ERIE
County of Erie

[Signature]
signature
1810 Military Rd. #300, Tonawanda, NY 14217
mailing address

Michael P. Tucker, being duly sworn, deposed and says that he is the petitioner in this action; that he has read the foregoing Request and knows the contents thereof; that the same is true to the knowledge of deponent.

Sworn to before me this 28th
day of September, 2015

[Signature]
signature

DENISE A. CARUANA
NOTARY PUBLIC, State of New York
No. 01CA6230768
Qualified in Erie County
Commission Expires 11/8/20 18

RECEIVED
SEP 28 2015

TOWN OF AURORA
TOWN CLERKS OFFICE

Receipt #
936 308
9/28/15

NOTARY PUBLIC



Town of Aurora
 5 South Grove St
 East Aurora NY 14052



Zoning Board of Appeals Petitioner's Letter of Intent

Applicants Name Michael P. Tucker - Sharp General Contracting Inc.
 Address 1810 Military Rd. #300, Tonawanda, NY 14217
 Telephone 716-743-2050

Address of appeal 1256 Luther Rd. East Aurora, NY 14052
 Zoning District A
 Zoning Code Section Table of District Regs - Front Yd Setback

Type of Appeal:

- A PERMIT FOR USE
 A VARIANCE FROM ZONING ORDINANCE
 A TEMPORARY PERMIT OR EXTENSION THEREOF
 A CERTIFICATE OF EXISTING USE
 A PERMIT FOR OCCUPANCY

GROUND FOR VARIANCE: (may continue on separate sheet)

We are asking for a variance from the existing set back requirement. We are proposing to remove existing deteriorated garage and construct a 1/2 attached garage. The new structure will be approx. 15' greater set back than the existing garage. Secondly, we are proposing a small entry way and covered front porch, as per drawing, which will greatly enhance the safety of the property owner and guests utilizing the front entry. Due to the nonconforming location of the existing house we cannot accomplish the proposed renovations any other way.

ACKNOWLEDGMENT:

Pursuant to Section 809 of the New York State General Municipal Law, the appellant shall state in his written appeal that to the best of his knowledge, no state officer or officer or employee of the Town of Aurora, has any interest in the appellant as defined in Section 809 of the General Municipal Law. If this statement cannot be made, the nature of any such interest must be disclosed as required by said State Law

Petitioners Signature [Signature] Date Sept. 28, 2015
 Owners Signature [Signature] Date Sept. 28, 2015

SUPERVISOR
James J. Bach
(716) 652-7590
jbach@townofaurora.com



TOWN CLERK
Martha L. Librock
(716) 652-3280
townclerk@townofaurora.com

TOWN OF AURORA
Southside Municipal Center
300 Gleed Avenue, East Aurora, NY 14052
www.townofaurora.com

TOWN COUNCIL MEMBERS

Susan A. Friess
sfriess@townofaurora.com

Jeffrey T. Harris
jharris@townofaurora.com

Jolene M. Jeffe
jjeffe@townofaurora.com

Charles D. Snyder
csnyder@townofaurora.com

SUPT. OF HIGHWAYS
David M. Gunner
(716) 652-4050
highway@townofaurora.com

SUPT. OF BUILDING
Patrick J. Blizniak
(716) 652-7591
building@townofaurora.com

ASSESSOR
Richard L. Dean
assessor@townofaurora.com
(716) 652-0011

DIR. OF RECREATION
Peggy M. Cooke
(716) 652-8866
peggy@townofaurora.com

TOWN ATTORNEY
Ronald P. Bennett

TOWN JUSTICE
Douglas W. Marky
Jeffrey P. Markello

HISTORIAN
Robert L. Goller
(716) 652-7944
historian@townofaurora.com

FAX: (716) 652-3507
NYS Relay Number:
1(800) 662-1220

Michael P. Tucker
1810 Military Rd #300
Tonawanda, NY 14217

9/28/2015

Re: 1256 Luther Rd. front yard setback

Michael,


The Building Dept. has reviewed your application to construct a new attached garage toward the front of the residence at 1256 Luther Rd., East Aurora, NY. We have denied your application, because the proposed garage does not meet the required front yard setback as specified in the Town of Aurora Table of District Regulations. We therefore request that you apply to the Town of Aurora Zoning Board of Appeals for an area variance if you wish to continue with this project.

Required: 75ft from the right of way.

Requested: 24.83 ft.

Variance required: 50.17 ft.

If you wish to pursue this matter further you must apply to the Town of Aurora Zoning Board of Appeals for an Area Variance. You must include your application, application fee, and any information you need to support your need for a variance from the Town Code. If you have any questions contact us at 652-7591.

William R. Kramer

Code Enforcement Officer

September 28, 2015

Roberta Riegert Taylor

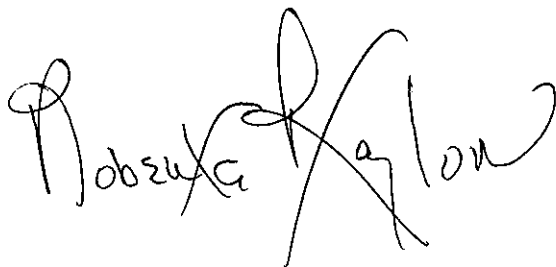
1256 Luther Rd

East Aurora, NY 14052

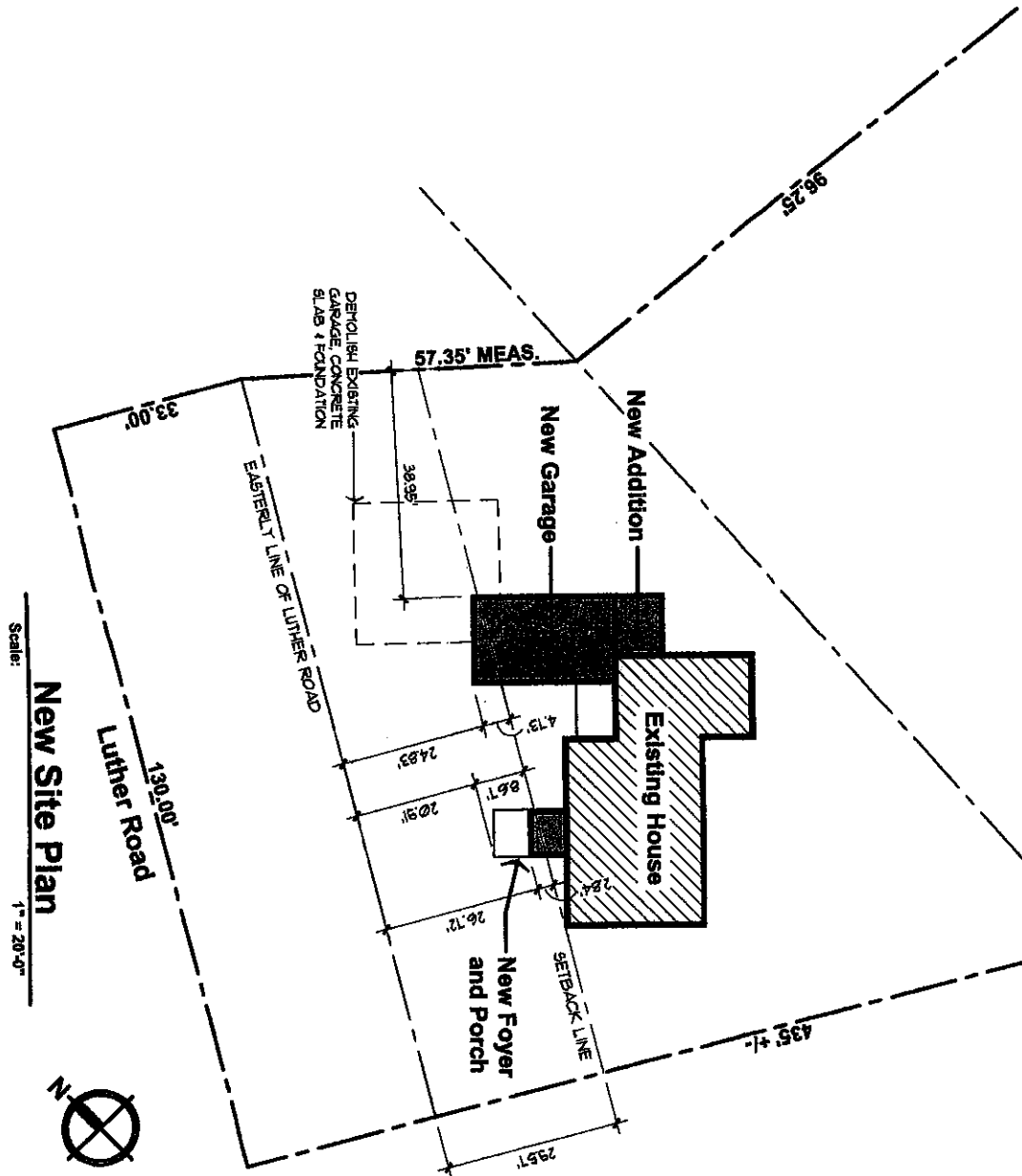
To Whom It May Concern;

I hereby give Michael P Tucker of Sharp General Contracting, Inc permission to act as my agent in the formal application to the Zoning Board of Appeals regarding the construction of an attached garage and front porch located at 1256 Luther Road, which violates the Town's front yard setback rules.

Thank You,

A handwritten signature in black ink that reads "Roberta Riegert Taylor". The signature is written in a cursive style with a large initial 'R' and a long, sweeping tail.

Roberta Riegert Taylor



Scale:

New Site Plan

1" = 20'-0"



**ROBERTS
SHACKLETON
BOY**

ARCHITECTS AND ENGINEERS
66 Cayuga Road
Cheektowaga, New York 14225
Phone: 718-558-0722
Contact: Brian Effinger - 716-830-0749

Project:

**New Garage & Foyer Addition
and Interior Renovations**

**1256 Luther Road
East Aurora, New York 14052**

Yp. Foundation / Wall Section

Scale: 3/4" = 1'-0"

UNDISTURBED SOIL

B

Porch Foundation / Wall Section

Scale: 3/4" = 1'-0"

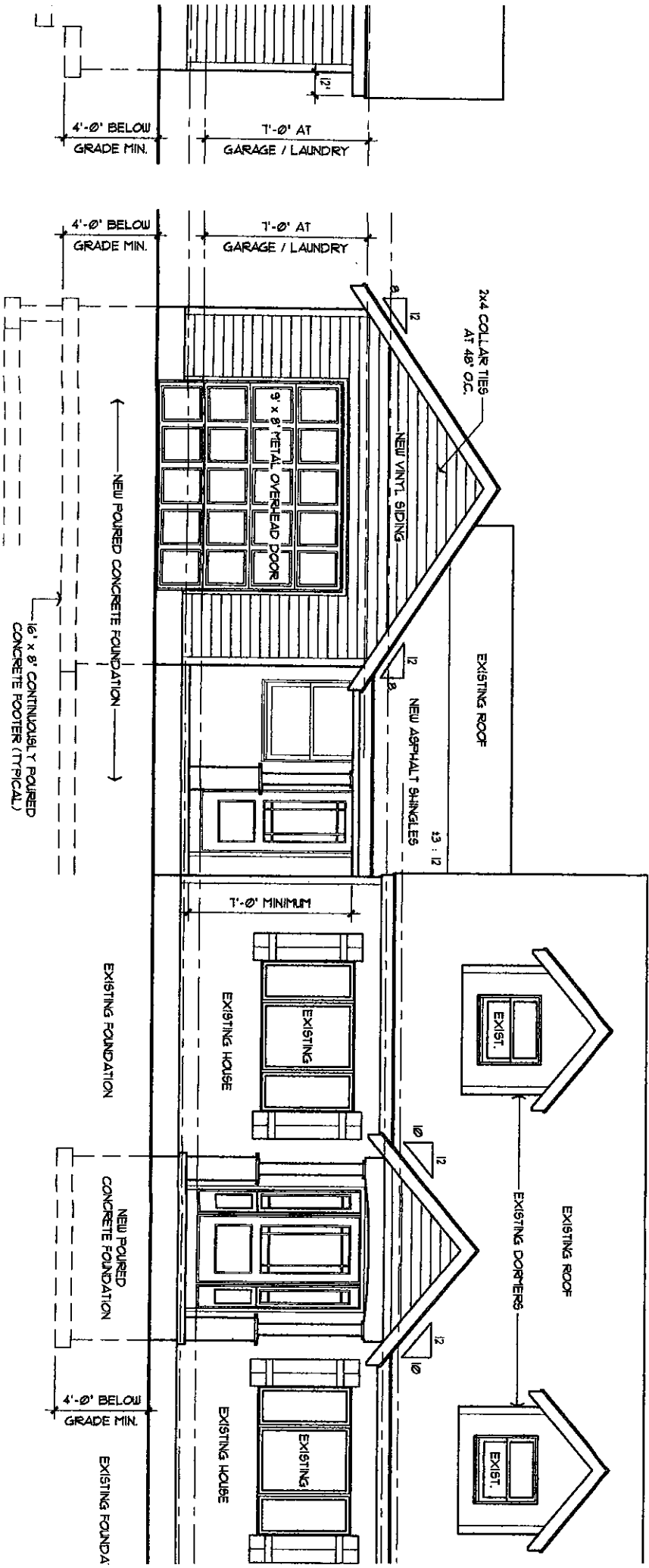
UNDISTURBED SOIL

C

Garage Foundation / Wall Section

Scale: 3/4" = 1'-0"

UNDISTURBED SOIL



New Front Elevation

Petitioner: Roberta Riegert Taylor
1256 Luther Rd
East Aurora, NY 14052

SBL#: 186.00-2-39.1

=====

Abutting Properties:	Mailing Address (if different)
SBL: 186.00-2-40.111 Ralph & Laura Vanner V/L Luther Rd	1240 Luther Rd East Aurora, NY 14052
SBL: 186.00-2-40.112 Ralph & Laura Vanner 1240 Luther Rd East Aurora, NY 14052	
SBL: 186.00-4-26.2 Douglas & Anna Harp 1211 Luther Rd East Aurora, NY 14052	
SBL: 186.00-4-26.112 Donald & Delsie Dougher 1261 Luther Rd East Aurora, NY 14052	
SBL: 186.00-4-26.113 Beulah Dougher V/L Luther Rd	1261 Luther Rd East Aurora, NY 14052
SBL: 186.00-2-32 Alan & Dawn Davis 1266 Luther Rd East Aurora, NY 14052	
SBL: 186.00-2-33 Camp Longacres Inc V/L Mill Rd	1529 Mill Rd East Aurora, NY 14052

Roberta Riegert Taylor

1240 Lurmer Rd

East Aurora

186-00-2-39.1



OK as to form only

TOWN OF AURORA
Zoning Board of Appeals Request

PAID
\$7500 @
1254

Building Application # _____
Building Permit # _____

Zoning Appeal Case No. 1254
Date 10/15/15

TO THE ZONING BOARD OF APPEALS, TOWN OF AURORA, NEW YORK

I, (we) Jacob Balon of 6378 Olean Rd South Wales 14139
HEREBY APPEAL TO THE ZONING BOARD OF APPEALS FROM THE DECISION OF THE BUILDING
INSPECTOR on APPLICATION NO. _____ WHEREBY THE BUILDING INSPECTOR DID DENY

TO Jacob Balon
Name of Applicant

OF 6378 Olean Rd., Aurora, NY
(Street & Number) (Municipality) (State)

- A PERMIT FOR USE
- A VARIANCE FROM ZONING ORDINANCE
- A TEMPORARY PERMIT OR EXTENSION THEREOF
- A CERTIFICATE OF EXISTING USE
- A PERMIT FOR OCCUPANCY

1. LOCATION OF THE PROPERTY V/L Olean Rd.
SBL # 201-15-1-10 ZONING DISTRICT A

2. PROVISION(S) OF THE ZONING ORDINANCE APPEALED. (Indicate the Article, section, sub-section, and paragraph of the Zoning Ordinance being appealed, by number. Do not quote the Ordinance)

3. TYPE OF APPEAL. Appeal is made herewith for:
Table of District Regs - Mean Height Accessory Bldg

- An interpretation
- A variance - to the Zoning Ordinance
- An exception
- A temporary permit

4. A PREVIOUS APPEAL has has not been made with respect to this decision of the Building Inspector or with respect to this property

NAMES AND ADDRESSES OF OWNERS OF ABUTTING PROPERTIES ARE:
See attached list marked as an exhibit.

STATE OF NEW YORK
COUNTY OF ERIE
of _____

[Signature]
Signature(s)
6378 Olean Rd S. Wales NY 14139
Mailing Address

Jacob Balon, being duly sworn, deposed and says that he is the petitioner in this action; that he has read the foregoing Request and knows the contents thereof; that the same is true to the knowledge of deponent.

9/28/15 Balt
Rec. 936308

Sworn to before me this 28th
day of September, 2015

[Signature]
NOTARY PUBLIC

SHERYL A. MILLER
Reg. #01MI6128663
Notary Public, State of New York
Qualified In Erie County
Commission Expires June 13, 2017



Town of Aurora
 300 Glead Avenue
 East Aurora NY 14052



Zoning Board of Appeals Petitioner's Letter of Intent

Applicants Name Jacob Balow
 Address 6378 Olean Rd
 Telephone 716-903-6092

Address of appeal V/L Olean Rd SBL: 2015-1-10
 Zoning District A
 Zoning Code Section Table of District Reg - Mean Height Acc Bldg

Type of Appeal:

- A PERMIT FOR USE
- A VARIANCE FROM ZONING ORDINANCE
- A TEMPORARY PERMIT OR EXTENSION THEREOF
- A CERTIFICATE OF EXISTING USE
- A PERMIT FOR OCCUPANCY

GROUND FOR VARIANCE: (may continue on separate sheet)

Building storage facility and due to size of equipment to be stored 14' walls are required

ACKNOWLEDGMENT:

Pursuant to Section 809 of the New York State General Municipal Law, the appellant shall state in his written appeal that to the best of his knowledge, no state officer or officer or employee of the Town of Aurora, has any interest in the appellant as defined in Section 809 of the General Municipal Law. If this statement cannot be made, the nature of any such interest must be disclosed as required by said State Law

Petitioners Signature [Signature] Date 9-28-15
 Owners Signature _____ Date _____

SUPERVISOR
James J. Bach
(716) 652-7590
jbach@townofaurora.com



TOWN CLERK
Martha L. Librock
(716) 652-3280
townclerk@townofaurora.com

TOWN OF AURORA
Southside Municipal Center
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TOWN COUNCIL MEMBERS

Susan A. Friess
sfriess@townofaurora.com

Jeffrey T. Harris
jharris@townofaurora.com

Jolene M. Jeffc
jjeffe@townofaurora.com

Charles D. Snyder
csnyder@townofaurora.com

SUPT. OF HIGHWAYS
David M. Gunner
(716) 652-4050
highway@townofaurora.com

SUPT. OF BUILDING
Patrick J. Blizniak
(716) 652-7591
building@townofaurora.com

ASSESSOR
Richard L. Dean
assessor@townofaurora.com
(716) 652-0011

DIR. OF RECREATION
Peggy M. Cooke
(716) 652-8866
peggy@townofaurora.com

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Robert L. Goller
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historian@townofaurora.com

FAX: (716) 652-3507
NYS Relay Number:
1(800) 662-1220

Jacob Balon
6378 Olean Rd.
South Wales, NY 14139

9/29/2015

Re: Mean Height

Jacob,

The Building Dept. has reviewed your application for an accessory structure at 6378 Olean Rd. We have denied your application because the proposed building does not meet the required building height as specified in the Town of Aurora Table of District Regulations. We therefore request that you apply to the Town Zoning Board of Appeals for an area variance if you wish to continue with this project.

Required Mean Height: 15'

Requested: 16.5'

Variance required: 1.5'

If you wish to pursue this matter further you must apply to the Town of Aurora Zoning Board of Appeals for an Area Variance. You must include your application, application fee, and any information you need to support your need for a variance from the Town Code. If you have any questions contact us at 652-7591.

William R. Kramer

Code Enforcement Officer

**SITE PLAN OR ZONING REFERRAL TO COUNTY OF ERIE, NY
AND REPLY TO MUNICIPALITY**

Note: Please complete in triplicate. Send original and one copy (with attachments) to Erie County Division of Planning, Room 1053, 95 Franklin Street, Buffalo, N.Y. 14202. Retain last copy for your files.

DO NOT WRITE IN THIS SPACE

Case No.: _____
Received: _____

The proposed action described herein is referred in accordance with the provisions of the General Municipal Law, which provides that if no reply is received in 30 days after receipt of full information including a SEQR EAF if applicable, the municipal agency may take final action without considering such reply. If, however, reply is received at any time prior to municipal Action, such reply must be considered.

Description of Proposed Action

1. Name of Municipality: Town of Aurora

2. Hearing Schedule: **Date** 10/15/2015 **Time** 7:00pm **Location** 300 Glead Ave., E. Aurora, NY

3. Action is before: Legislative Body Board of Appeals Planning Board

4. Action consists of: New Ordinance Rezone/Map Change Ordinance Amendment
 Site Plan Variance Special Use Permit Other

5. Location of Property: Entire Municipality Specific as follows SBL#201.15-1-10 Olean Road

6. Referral required as Site is within 500' of: State or County Property/Institution Municipal Boundary Farm Operation located in an Agricultural District
 Expressway County Road State Highway Proposed State or County Road, Property, Building/Institution, Drainageway

7. Proposed change or use: (be specific) Height of proposed accessory building higher than allowed by town code.

8. Other remarks: (ID#, SBL#, etc.) SBL#201.15-1-10 Olean (vacant lot)

9. Submitted by: Martha L. Librock, Town Clerk 10/1/2015

300 Glead Avenue, East Aurora, NY 14052

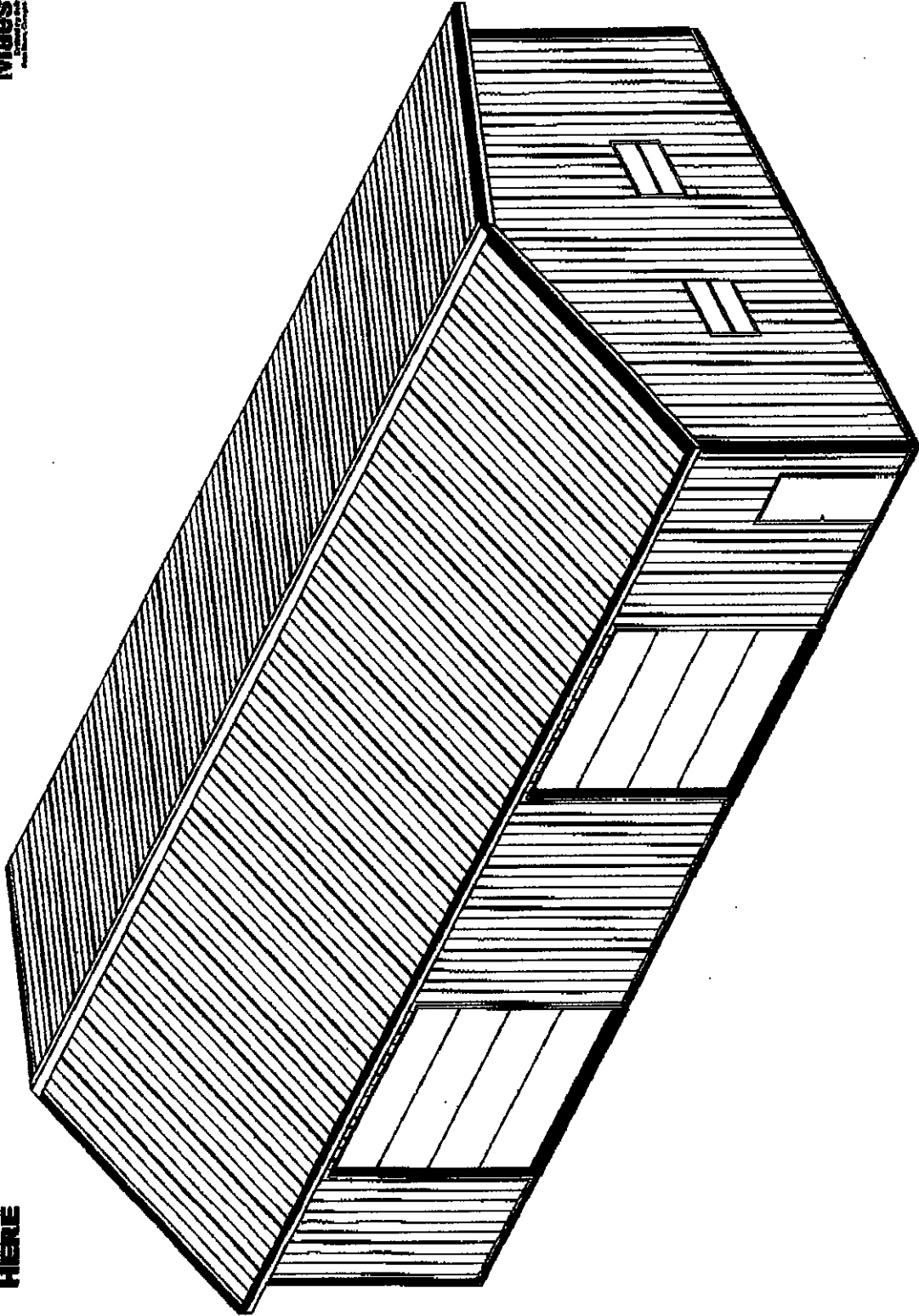
Reply to Municipality by Erie County Division of Planning

Receipt of the above-described proposed action is acknowledged on _____. The Division herewith submits its review and reply under the provisions of applicable state and local law, based on the information submitted with this referral.

1. The proposed action is not subject to review under the law.
2. Form ZR-3, Comment on Proposed Action is attached hereto.
3. The proposed action is subject to review; the Division makes the recommendation shown on Form ZR-4, Recommendation on Proposed Action, which is attached hereto.
4. No recommendation; proposed action has been reviewed and determined to be of local concern

By the Division of Planning: _____ Date: _____

Construction
Maestro
ESTABLISHED 1988



**YOUR LOGO
HERE**

Jake Bach
Estimate Number: 152
9/22/2015

#0708 P.02 /014
1-536 P0001/0016 F-935

BSMR
814-153-6709

03-22-2015 02:01 17163554374
03-22-13 10:12 TRUM- LUSSEWAGO TRUSS LLC

Petitioner: Jacob Balon
6378 Olean Rd
South Wales, NY 14139

SBL#: 201.15-1-10

=====

Abutting Properties:

Mailing Address (if different)

SBL: 201.15-1-8
Victoria Montagu & Lisa Harvey
1853 Olean Rd
South Wales, NY 14129

SBL: 201.15-1-9
Robert & Judy Perry
1831 Olean Rd
South Wales, NY 14139

SBL: 201.15-1-11
Kathleen Sainsbury
6384 Olean Rd
South Wales, NY 14139

SBL: 201.15-1-2.1
Angeline & Brian Wierzbic
49 Willis Rd

5734 Burton Rd
Orchard Park, NY 14127

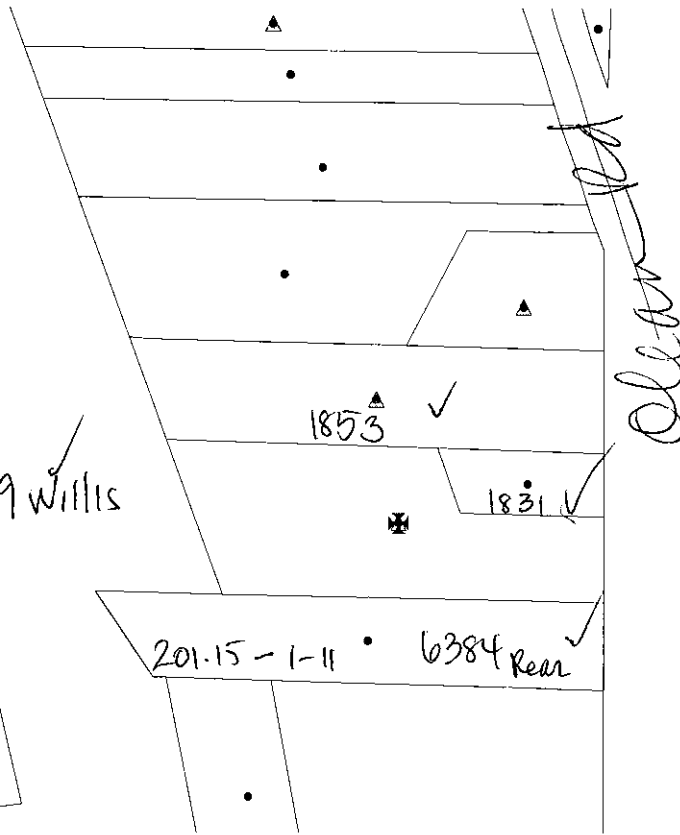
Town of Wales
12345 Big Tree Rd
Wales Center NY

Jacob Baln

6378 Olean Rd

SWales 14139

201.15-1-10



49 Willis

201.15-1-11 • 6384 Rear



October 1, 2015

Hand Delivery

Donald Aubrecht, Chairman
Town of Aurora Zoning Board of Appeals
300 Glead Avenue
East Aurora, NY 14052

Re: West Herr Vehicle Storage Lot – Case #1235
591 Olean Road, Town of Aurora Zoning Board of Appeals
File No. 14J5-0047

RECEIVED

OCT - 1 2015

**TOWN OF AURORA
TOWN CLERKS OFFICE**

Dear Chairman Aubrecht and Members of the Zoning Board of Appeals:

This updated submission is being made to the Zoning Board of Appeals ("ZBA") in connection with West Herr's pending application for a vehicle storage lot and related improvements on the property at 591 Olean Road ("Project Site").

The ZBA previously reviewed the proposed project during its meetings on April 16th and June 18th. During its meeting on June 18th, the ZBA authorized the commencement of a coordinated environmental review of the proposed project pursuant to the State Environmental Quality Review Act ("SEQRA").

Enclosed is updated project information consisting of twelve (12) copies of the Amended Part 1 of the Full Environmental Assessment Form ("Full EAF") with Attachments 1, 2 and 3 and twelve (12) sets of the updated project plans prepared by our firm.

The reason the updated project submission was not made sooner is due to the effort made subsequent to the ZBA meeting on June 18th to obtain input from the NYS Office of Parks, Recreation and Historic Preservation ("SHPO") as a result of the Project Site being located in an archaeologically sensitive area.

A Phase IA/IB cultural resource investigation of the Project Site was conducted by Robert J. Hanley of Panamerican Consultants and a copy of the report with detailed information regarding the cultural resource investigation was submitted to SHPO for review. Based on its review of the Phase IA/IB report prepared by Panamerican Consultants and discussions with Mr. Hanley, SHPO determined that a small portion of the Project Site contains resources and that as such, this area needed to be avoided. The project plans were updated by our firm to avoid this area and the location of this small area that will be permanently preserved is labelled on the enclosed updated as "Existing Indian Artifact Area (Not to be Disturbed)". On September 21, 2015, a "No Impact" determination was issued by Nancy Herter of SHPO and a copy is provided at Attachment "3" of the enclosed Amended Part 1 of the Full EAF.

Mr. Donald Aubrecht, Chairman
Zoning Board of Appeals
October 1, 2015
Page 2

Nussbaumer
& Clarke, Inc.

The enclosed updated plans includes a plan titled "Dedicated Lands Map to Town of Aurora" which increases the size of the portion of the Project Site the Applicant is willing to donate to the Town to 15.8 acres by adding frontage on Olean Road that would provide the Town with access to the land the Applicant is willing to donate and also to Majors Park. A decision on the offered donation of land would need to be made by the Town Board.

The Applicant is requesting that the enclosed Amended Part 1 of the Full EAF and updated plans be provided to the involved agencies with the ZBA's lead agency solicitation letter as required in connection with the coordinated environmental review of the proposed project pursuant to SEQRA. The involved agencies are the NYS Department of Environmental Conservation and SHPO (which has issued a "No Impact" determination as mentioned above). The involved agencies will have thirty days to advise the ZBA if they concur with the ZBA's intent to act as the designated lead agency.

The Applicant is also requesting that the enclosed Amended Part 1 of the Full EAF and updated plans be referred to the Erie County Department of Environment and Planning ("ECDEP") as required by Section 239-m of NYS General Municipal Law. A referral to ECDEP is required based on Olean Road being a NYS Highway located within 500 feet of the Project Site.

It would be greatly appreciated if copies of the ZBA's lead agency solicitation letter and referral to ECDEP could be provided to both Sean Hopkins, Esq., and our office, along with copies of any written responses received from the NYSDEC, NYSDOT, SHPO and ECDEP.

Please feel to contact us with any questions. Please also feel free to contact Sean Hopkins, Esq., counsel for the Applicant, at 510-4338 or via e-mail at shopkins@hsr-legal.com with any questions.

Sincerely,

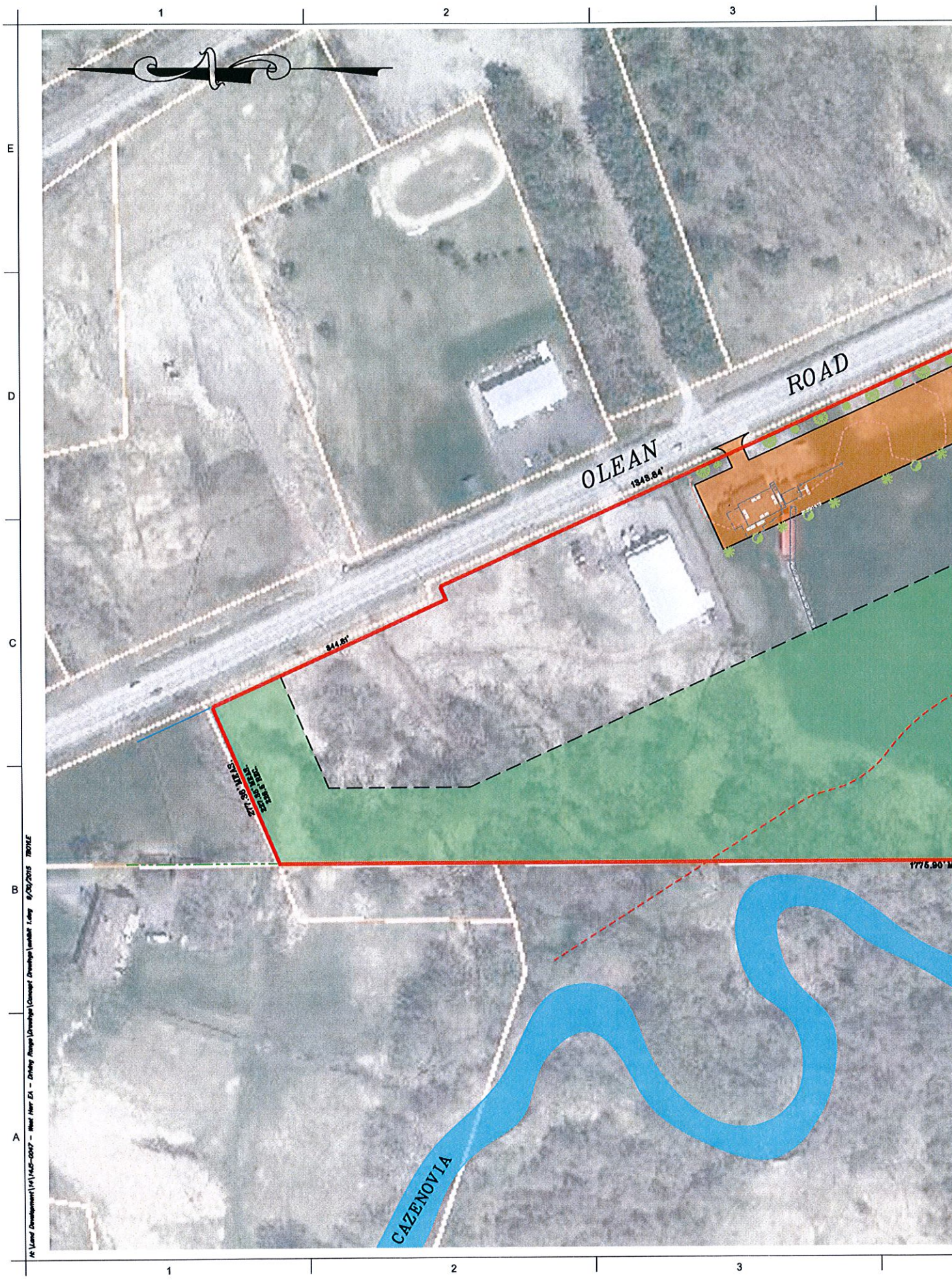
NUSSBAUMER & CLARKE, INC.



Andrew H. Gow, P.L.S.
Associate / Manager of Land Development

AG/g – Attachments

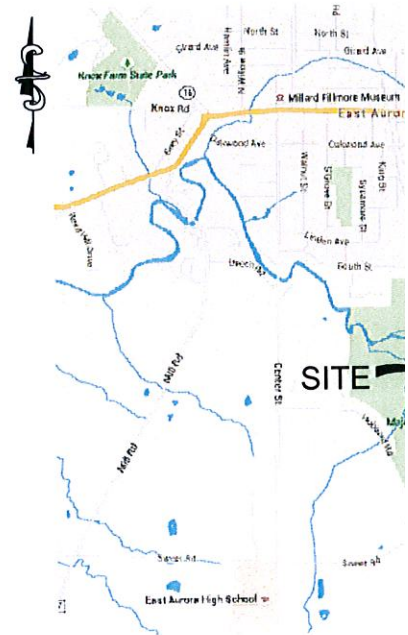
c: Martha L. Librock, Town Clerk
William Kramer, Code Enforcement Officer and Asst. Building Inspector
John Wabick, VP, West Herr Automotive Group [w/enclosures]
Sean Hopkins, Hopkins Sorgi & Romanowski PLLC [w/enclosures]



14 Land Development\14\14-05-0007 - West Hill EX - Drinking Water (Drinking) (Concept Drawings) (sheet) 1.dwg 6/20/2016 10:02 AM

WEST HERR PROJ PROPOSED PARKIN

591 OLEA
TOWN OF AUROR
STATE OF N
SEPTEME



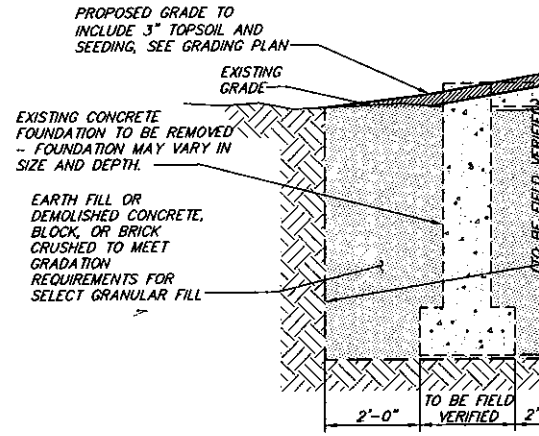
LOCAT

NUSSBAUMER & CLARKE, INC.
A CORPORATION REGISTERED TO PRACTICE
PROFESSIONAL ENGINEERING & LAND SURVEYING
IN THE STATE OF NEW YORK
CERTIFICATE NO. _____

14J5-0047

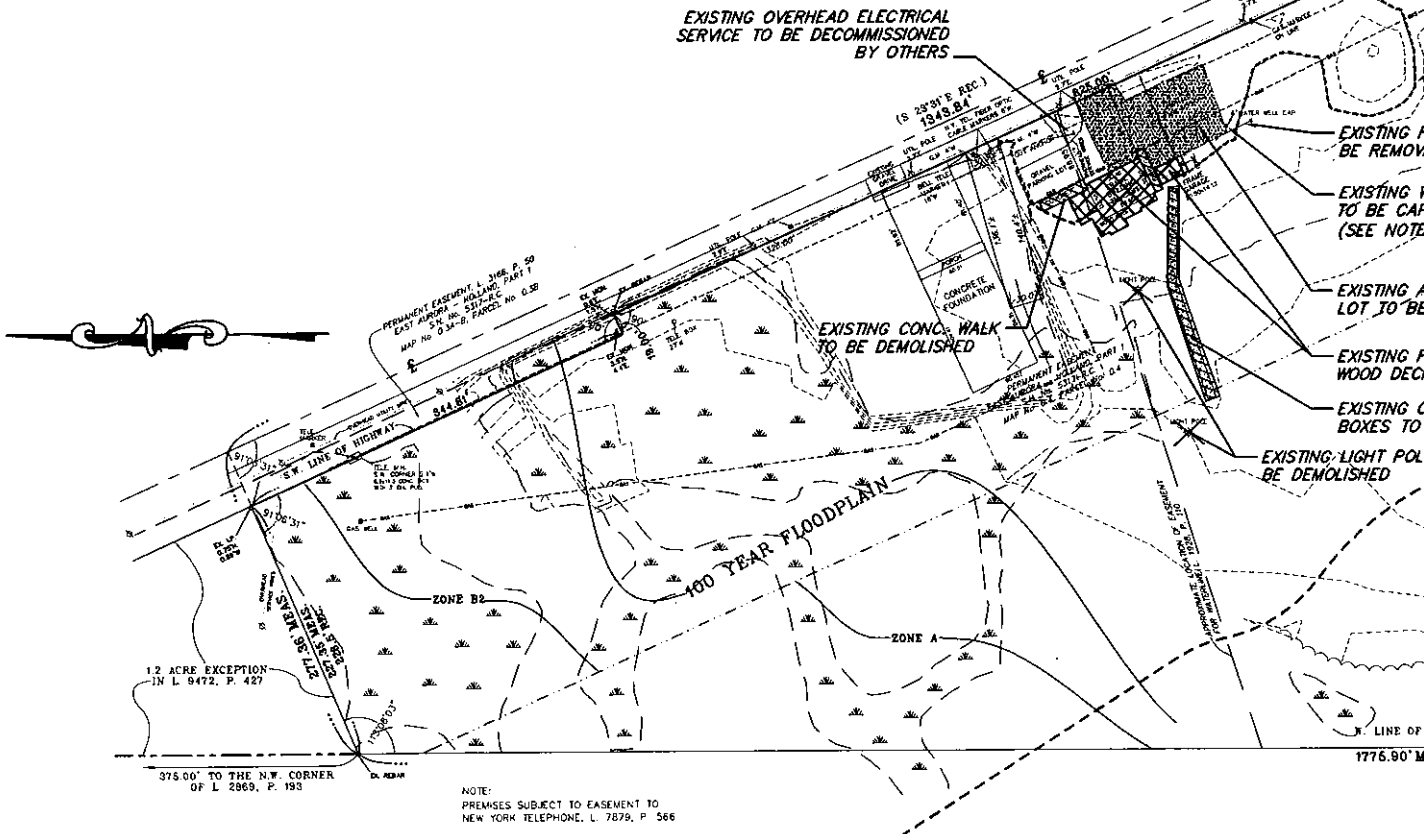
DEMOLITION NOTES

1. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO PREPARING A BID PROPOSAL IN ORDER TO VERIFY THE LOCATIONS OF EXISTING UTILITIES, THE GRADING OF THE SITE, THE ITEMS TO BE REMOVED WITHIN THE EXISTING BUILDINGS, THE EXISTING WATER, SEWER, GAS, AND ELECTRICAL SERVICES TO BE DISCONNECTED, AND TO BECOME FAMILIAR WITH EXISTING CONDITIONS.
2. THE CONTRACTOR SHALL PERFORM ALL WORK WITH CARE SO THAT ANY PLANTS AND MATERIALS WHICH ARE TO REMAIN IN PLACE OR ARE TO REMAIN THE PROPERTY OF THE OWNER WILL NOT BE DAMAGED. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY DAMAGED PLANTS OR MATERIALS IN A MANNER SATISFACTORY TO THE OWNER, AT THE EXPENSE OF THE CONTRACTOR.
3. AREAS DISTURBED OUTSIDE OF THE WORK LIMITS ARE TO BE RESTORED, AS REQUIRED, TO THE SATISFACTION OF THE OWNER, AT THE EXPENSE OF THE CONTRACTOR.
4. ALL ABANDONED MATERIALS AND ITEMS IN AND AROUND THE BUILDINGS THAT ARE NOT CLAIMED BY THE OWNER SHALL BE REMOVED AND LEGALLY DISPOSED OF OFF-SITE BY THE CONTRACTOR.
5. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO SECURE A DISPOSAL SITE. ALL COSTS ASSOCIATED WITH DISPOSAL INCLUDING PERMITTING, TRANSPORTATION TO SITE ETC. SHALL BE INCLUDED IN THE BASE BID AMOUNT.
6. IT IS THE CONTRACTOR'S OPTION TO CRUSH ANY CAST-IN-PLACE CONCRETE, CONCRETE BLOCK AND BRICK FROM THE EXISTING BUILDINGS IN ACCORDANCE WITH THE GRADATION REQUIREMENTS FOR SELECT GRANULAR FILL, AS SPECIFIED IN SPECIFICATION SECTION 02200, IN LIEU OF DISPOSING OF THE DEMOLISHED MATERIALS AND PROVIDING NEW EARTH FILL. NO WOOD, METAL, OR OTHER DEMOLISHED MATERIALS MAY BE USED AS BACKFILL FOR THIS PROJECT.
7. ALL WORK ON THIS PROJECT IS TO BE CONDUCTED WITHIN THE PROPERTY BOUNDARY. ANY DAMAGE CREATED BY THE CONTRACTOR OR THE CONTRACTOR'S REPRESENTATIVE OUTSIDE THE PROPERTY BOUNDARY SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT NO ADDITIONAL EXPENSE TO THE OWNER.
8. ALL COSTS ASSOCIATED WITH DISCONNECTION OF GAS, ELECTRICAL, WATER AND SEWER SERVICES TO THE BUILDINGS SHALL BE PAID FOR BY THE CONTRACTOR AND INCLUDED IN THE BASE BID.
9. ALL ELECTRICAL WORK TO BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR.
10. EXISTING WATER SERVICE (1/4" OR 1"Ø) TO BE CRIMPED AND ABANDONED IN PLACE PER ECWA REQUIREMENTS.
11. REMOVAL OF THE EXISTING LIGHT STANDARDS AS INDICATE ON THE PLAN WILL INCLUDE THE REMOVAL OF THE CONCRETE BASE AND THE BACKFILLING TO THE BOTTOM OF THE PROPOSED PAVEMENTS BASE COURSE.
12. REMOVAL OF THE EXISTING LANDSCAPE ISLANDS WILL INCLUDE THE CONC. CURBS, SOIL TO A DEPTH EQUAL TO THE BOTTOM OF THE NEW PAVEMENT BASE COURSE AND ALL PLANTINGS, INCLUDING TREES.
13. THE EXISTING DEALERSHIP STRUCTURE WILL REMAIN IN OPERATION DURING CONSTRUCTION; THEREFORE ALL UTILITIES SERVICING THE STRUCTURE WILL REMAIN IN SERVICE.
13. THE CONTRACTOR SHALL SECURE ALL WORK AREAS DURING NON-WORK HOURS.



EXCAVATION AND BACKFILL

OLEAN (WIDENED)
(FORMERLY KNOWN AS...)



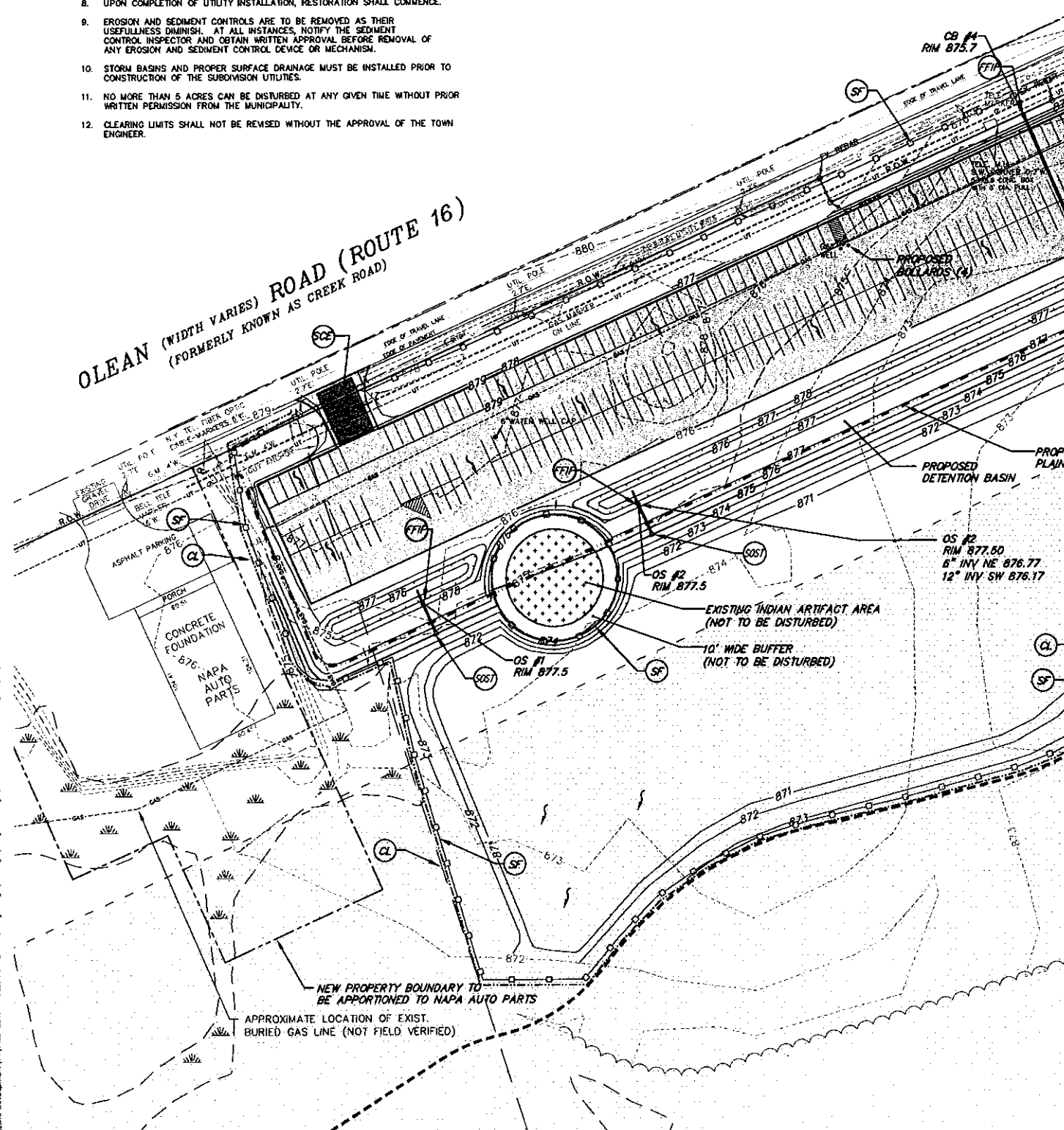
A: Lland Development/141145-0047 - West Hill EA - Utility Range/Drawings/Utility Drawings/145-0047-ENRST 2010 & DEMO PLAN.dwg 9/20/2015 10:01:41

~ SEQUENCE OF OPERATIONS ~

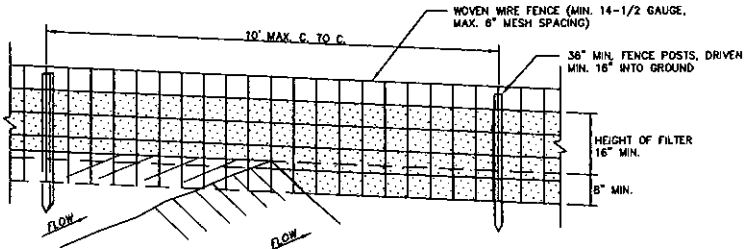
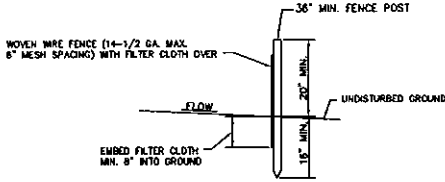
1. NOTIFY SEDIMENT CONTROL INSPECTOR AT LEAST 24 HOURS PRIOR TO START OF CONSTRUCTION.
2. SURVEY AND STAKEOUT FOR CLEARING, STRIPPING AND EROSION CONTROL ACTIVITIES.
3. INSTALL EROSION AND SEDIMENT CONTROLS.
4. PERFORM THE NECESSARY WORK TO ENSURE PROPER SURFACE DRAINAGE WHILE MAINTAINING EROSION AND SEDIMENT CONTROL AS DEFINED BY TOWN SPECIFICATIONS AND DESIGN DRAWINGS.
5. WHEN ACTIVITIES TEMPORARILY CEASE DURING CONSTRUCTION, SOIL STOCKPILES AND EXPOSED SOIL SHOULD BE STABILIZED BY SEED AND MULCH OR OTHER APPROPRIATE MEASURES AS SOON AS POSSIBLE, BUT IN NO CASE MORE THAN 14 DAYS AFTER CONSTRUCTION ACTIVITY HAS CEASED.
6. NOTIFY SEDIMENT CONTROL INSPECTOR AND OBTAIN APPROVAL BEFORE PROCEEDING FURTHER.
7. SITE PREPARATION AND CONSTRUCTION SHALL NOT ADVERSELY AFFECT THE FREE FLOW OF STORM RUNOFF OR WATER COURSES.
8. UPON COMPLETION OF UTILITY INSTALLATION, RESTORATION SHALL COMMENCE.
9. EROSION AND SEDIMENT CONTROLS ARE TO BE REMOVED AS THEIR USEFULNESS DIMINISH. AT ALL INSTANCES, NOTIFY THE SEDIMENT CONTROL INSPECTOR AND OBTAIN WRITTEN APPROVAL BEFORE REMOVAL OF ANY EROSION AND SEDIMENT CONTROL DEVICE OR MECHANISM.
10. STORM BASINS AND PROPER SURFACE DRAINAGE MUST BE INSTALLED PRIOR TO CONSTRUCTION OF THE SUBDIVISION UTILITIES.
11. NO MORE THAN 5 ACRES CAN BE DISTURBED AT ANY GIVEN TIME WITHOUT PRIOR WRITTEN PERMISSION FROM THE MUNICIPALITY.
12. CLEARING LIMITS SHALL NOT BE REVISED WITHOUT THE APPROVAL OF THE TOWN ENGINEER.

OLEAN (WIDTH VARIES) ROAD (ROUTE 16)
 (FORMERLY KNOWN AS CREEK ROAD)

E
D
C
B
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14. Land Development 14144-0007 - Hill, Hill & Co. - City of Olean (Design) (Design) (Design) 1445-0007 876 Plan View 9/20/2015 180742

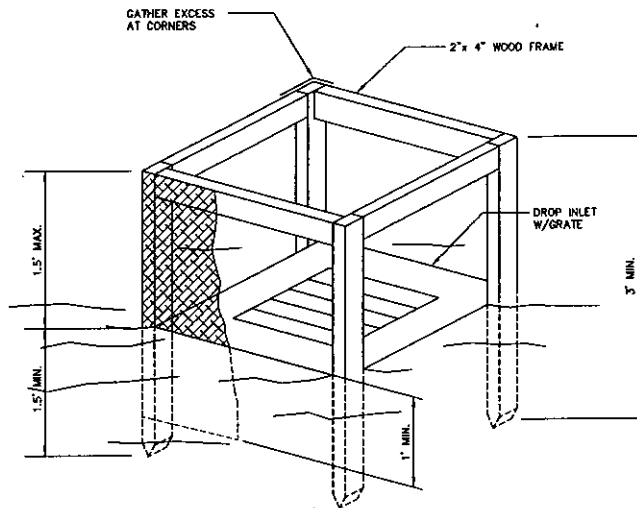


PERSPECTIVE VIEW

CONSTRUCTION SPECIFICATIONS

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
 - FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
 - WHEN TWO (2) SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX (6) INCHES AND FOLDED.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
- POSTS:
STEEL EITHER T OR U TYPE OR 2"x2" HARDWOOD.
- FENCE:
WOVEN WIRE, 14-1/2 GA. 6" MAX. MESH OPENING
- FILTER CLOTH:
FILTER X, WIRAFI 100X, STABILUNKA T140N OR APPROVED EQUAL
- PREFABRICATED UNIT:
GEOFAB, ENVROFENCE, OR APPROVED EQUAL

SILT FENCE DETAILS



CONSTRUCTION SPECIFICATIONS

- FILTER FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
 - CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
 - STAKE MATERIALS WILL BE STANDARD 2"x 4" WOOD OR EQUIVALENT. METAL WITH A MINIMUM LENGTH OF 3 FEET.
 - SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM 18 INCHES DEEP. SPANS GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
 - FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
 - A 2"x 4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER FLOW STABILITY.
- MAXIMUM DRAINAGE AREA 1 ACRE

FILTER FABRIC DROP INLET PROTECTION DETAIL



EROSION CONTROL LEGEND

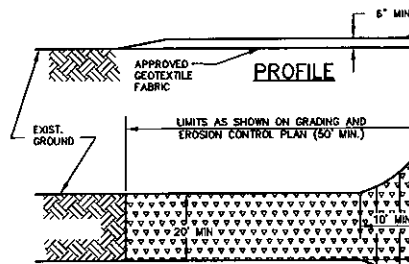


EROSION CONTROL NOTES

- ALL DISTURBED AREAS TO BE GRADED, TOPSOILED AND SEEDED AND MULCHED.
- TEMPORARY STOCKPILE LOCATIONS TO BE APPROVED BY THE TOWN.
- CLEARING SHALL BE LIMITED TO THE PHASE THAT IS CURRENTLY UNDER DEVELOPMENT. NO CLEARING SHALL TAKE PLACE BEYOND WHAT IS NECESSARY TO INSTALL UTILITIES.
- A COPY OF THE WEEKLY SITE INSPECTION REPORT IS TO BE PROVIDED TO THE TOWN IF REQUIRED.
- REMOVAL OF TOPSOIL FROM SITE WILL REQUIRE A PERMIT FROM THE TOWN CODE ENFORCEMENT OFFICER.

GENERAL NOTES

- UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO HAVE THIS INFORMATION VERIFIED AND LOCATED PRIOR TO CONSTRUCTION.
- WHERE EXISTING UTILITIES ARE REQUIRED TO BE RELOCATED, THE CONTRACTOR SHALL MAKE ALL NECESSARY ARRANGEMENTS WITH THE UTILITY COMPANY CONCERNED REGARDING SUCH RELOCATION. THE COST FOR RELOCATION OF UTILITIES SHALL BE INCLUDED IN THE UNIT PRICES BID FOR PIPE, INSTALLATION AND TRENCHING.
- ALL DEBRIS AND SPOIL SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR.
- BEFORE YOU DIG OR BLAST IN WESTERN NEW YORK CALL "DIG SAFELY NEW YORK" 1-800-952-7962.
- SHALE SHALL NOT BE USED AS BACKFILL MATERIAL FOR PIPE CROSSINGS OF THE PAVEMENT AND CURBS.
- PRIOR TO SUBBASE COURSE PLACEMENT, THE SURFACE ON WHICH THE SUBBASE IS TO BE PLACED SHALL BE THOROUGHLY COMPACTED TO THE 95% PROCTOR DENSITY AND PROOF ROLLED. PROOF ROLLING SHALL BE IN ACCORDANCE WITH SECTION 203-3.02C OF THE NYS DOT STANDARD SPECIFICATIONS.
- THE PARKING LOT SHALL BE STRIPED AS SHOWN ON THE PLAN.
- A NYS DOT HIGHWAY WORK PERMIT IS REQUIRED FOR ANY WORK WITHIN THE STATE R.O.W.



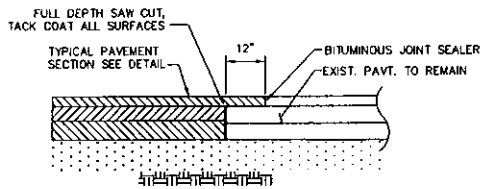
PLAN VIEW

CONSTRUCTION SPECIFICATION

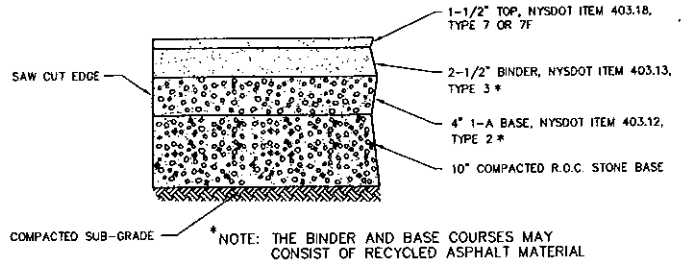
- STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONC
- LENGTH - AS REQ'D, BUT NOT LESS THAN 50 FEET (EXCEPT ON DENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - TEN (10) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WHERE INGRESS OR EGRESS OCCURS.
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR FILTER WILL NOT BE REQ'D ON A SINGLE FAMILY RESIDENCE LOT.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TO ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS A MOUNTABLE BERM WITH 1:5 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONE PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS COR AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC BE REMOVED IMMEDIATELY.
- WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT FROM PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQ'D, IT SHALL BE BY STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED

STABILIZED CONSTRUCTION ENTRANCE

H: Land Development (141405-0047 - West Hill CA - Drivng Range Unwings Design Drawings 1405-0047 SITE DETAILS.dwg 9/20/2015 780716



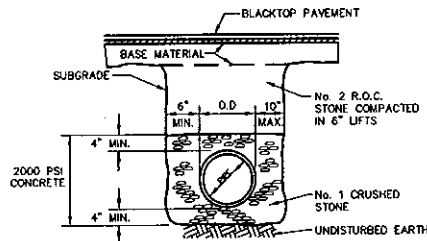
PAVEMENT MILLING AND OVERLAY
NOT TO SCALE



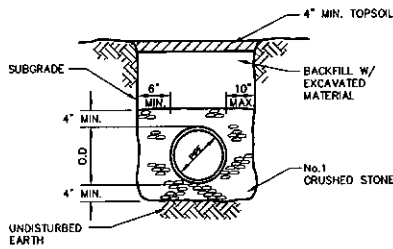
TYPICAL PAVEMENT SECTION
NOT TO SCALE



PARKING LOT PAVING DETAIL
NOT TO SCALE



TYPICAL SECTION FOR SELECT BACKFILL AND CONCRETE ENCASEMENT
STORM TRENCH DETAILS



TYPICAL SECTION FOR EARTH BACKFILL

SPECIAL NOTE REGARDING TRENCH BACKFILL MATERIAL:

- SHALE SHALL NOT BE USED AS BACKFILL MATERIAL FOR PIPE CROSSINGS OF THE PAVEMENT AND CURBS.
- SHALE SHALL NOT BE PLACED DIRECTLY AGAINST THE UNPROTECTED PIPE SURFACE. A MINIMUM OF 12" OF BEDDING STONE OR SELECT MATERIAL SHALL OVERLAY THE CROWN OF THE PIPE PRIOR TO PLACEMENT OF SHALE MATERIAL.

NOTE:

- MATERIALS USED FOR THE CONSTRUCTION OF CATCH BASINS AND STORM MANHOLES SHALL MEET THE REQUIREMENTS SPECIFIED IN NYSDOT SECTION 604-2.
- CONSTRUCTION OF STORM SEWERS AND UNDERDRAINS SHALL MEET THE REQUIREMENTS SPECIFIED IN NYSDOT SECTION 603-3 AND 605-3 AS APPLICABLE.
- CONSTRUCTION OF CATCH BASINS AND STORM MANHOLES SHALL MEET THE REQUIREMENTS SPECIFIED IN NYSDOT SECTION 604-3.
- MATERIALS USED FOR UNDERDRAIN FILTER MATERIAL SHALL MEET THE REQUIREMENTS SPECIFIED IN NYSDOT SECTION 605-2 UNDERDRAIN FILTER TYPE 1.
- THE CONTRACTOR SHALL SCHEDULE AND CONDUCT HIS/HER OPERATIONS TO MINIMIZE EROSION OF SOILS AND TO MINIMIZE SALTING AND MUDDYING OF STREAMS, RIVERS, IRRIGATION SYSTEMS, IMPOUNDMENTS (LAKES, RESERVOIRS, ECT.) AND LANDS ADJACENT TO OR AFFECTED BY THE WORK CONSTRUCTION OF DRAINAGE FACILITIES AND PERFORMANCE OF OTHER CONTRACT WORK WHICH WILL CONTRIBUTE TO THE CONTROL OF EROSION AND SEDIMENTATION SHALL BE CARRIED OUT IN CONJUNCTION WITH EARTHWORK OPERATIONS OR AS SOON THEREAFTER AS PRACTICAL. THE CONTRACTOR SHALL NOT DISCHARGE DUST INTO THE ATMOSPHERE OF SUCH QUANTITY, CHARACTER OR DURATION THAT IT UNREASONABLY INTERFERES WITH THE COMFORTABLE ENJOYMENT OF LIFE AND PROPERTY, OR IS HARMFUL TO PLANTS AND ANIMALS. ALL APPLICABLE REGULATIONS OF FISH, WILDLIFE, AND ENVIRONMENTAL PROTECTION AGENCIES AND STATUTES RELATING TO THE PREVENTION ABATEMENT OF POLLUTION SHALL BE COMPLIED WITH.

PIPE BEDDING MATERIAL (1)

NO. 1 CRUSHED STONE WITH A GRADATION CONFORMING WITH NYSDOT SECTION 703-02. THE CRUSHED STONE SHALL BE WELL GRADED WITH NO PARTICLES LARGER THAN ONE (1) INCH AND HAVING A MAXIMUM GRADATION MEETING THE UNITS DESCRIBED IN THE SPECIFICATIONS. THE BEDDING SHALL BE COMPACTED IN 6" LIFTS WITH EQUIPMENT ACCEPTABLE TO THE PIPE MANUFACTURER. NO SLAG SHALL BE ALLOWED.

NOTES:

- PIPE INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- TRENCHING OPERATIONS SHALL INCLUDE ALL NECESSARY DEWATERING.
- TRENCH DETAILS ARE ONLY SHOWN FOR PURPOSES OF MATERIAL PLACEMENT AND MAXIMUM PAY LIMITS.
- AN OSHA APPROVED MOVABLE PROTECTIVE TRENCH SHIELD SHALL BE USED IN ALL UNSHEETED TRENCH AREAS.
- TEMPORARY SHEETING AT CONTRACTOR'S OPTION AND EXPENSE. TEMPORARY SHEETING TO MEET OSHA REQUIREMENT.

PIPE MATERIAL SPECIFICATIONS

- HDPE PIPE - CORRUGATED POLYETHYLENE PIPE (8" TO 24" HDPE) SHALL MEET AASHTO M294 SPECS. JOINTS TO BE FIELD JOINED WITH STANDARD SPLIT COUPLERS.
- REINFORCED CONCRETE PIPE SHALL BE CLASS III AND MEET ASTM DESIGNATION C-76 SPECS. JOINTS FOR RCP SHALL BE EQUIPPED WITH ROUND RUBBER GASKETS.
- CORRUGATED METAL PIPE SHALL BE ALUMINIZED STEEL TYPE 2 WITH A MINIMUM 16 GAUGE AND MEET ASTM DESIGNATION A-444 SPECS. JOINTS FOR CMP SHALL BE FIELD JOINED WITH ALUMINIZED METAL BANDS.

SELECT BACKFILL ONLY NO. 2 RUN OF CRUSHER STONE TO BE PLACED IN 6" LIFTS. SELECT FILL TO BE EXTENDED 5' BEYOND PAVEMENT LIMITS.

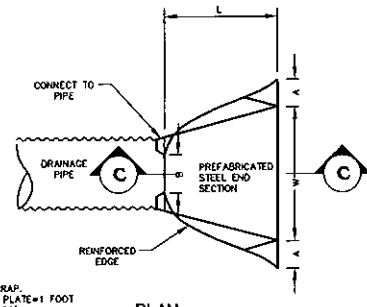
TOP OF PIPE ZONE

1/3 I.D. 6" MIN., 12" MAX.

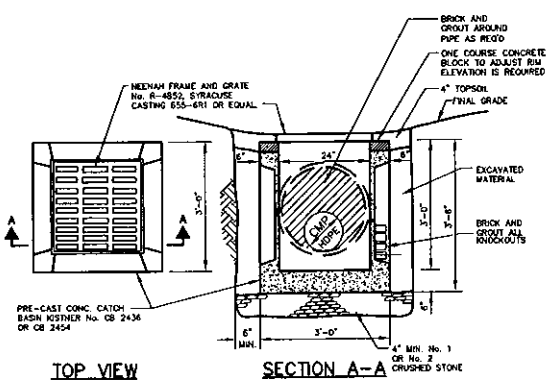
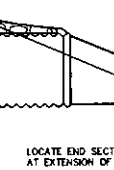
TEMPORARY SHEETING AT CONTRACTOR'S OPTION AND EXPENSE, OR SHEETING LEFT IN PLACE AS ORDERED BY THE ENGINEER. TEMPORARY SHEETING INCLUDED IN PIPE PRICE; SHEETING LEFT IN PLACE UNDER SEPARATE BID ITEM.

PERMEABLE SOIL MIX:

SOIL MIX SHALL BE A WELL BLENDED MIXTURE OF THREE (3) PARTS SAND AND ONE (1) PART TOPSOIL BY VOLUME. SAND SHALL MEET THE REQUIREMENTS OF CONCRETE SAND. SOIL SHALL BE A UNIFORM MIX FREE OF STONES, STUMPS, ROOTS OR OTHER OBJECTS LARGER THAN 2 INCHES IN DIAMETER AND SHALL BE VISIBLY FREE OF NOXIOUS WEEDS.



SECTION (C)



3'x3' CATCH BASIN DETAIL
CATCH BASINS IN UNPAVED AREAS SHALL HAVE NO SUMP.

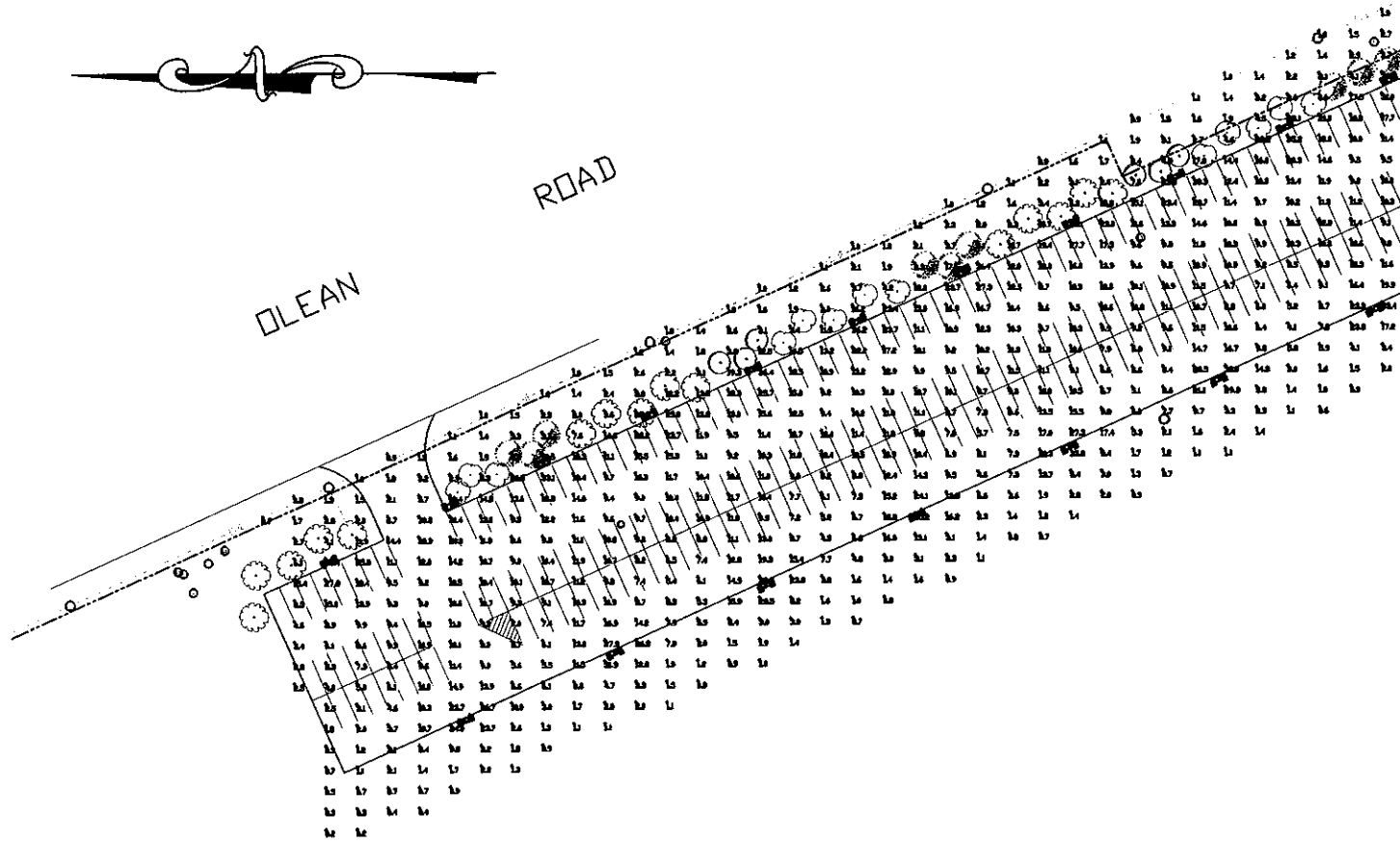
HDPE PIPE DIA.	CMP PIPE DIA.	GAUGE	DIMENSIONS, INCHES						APPROX. SLOPE	BODY
			A	B	H	L	W			
10"	12"	16	8-1/2"	8-1/2"	8	0	21	24	2-1/2"	1-PC
12"	15"	16	2-1/2"	8	0	25	30	30	2-1/2"	1-PC
15"	18"	16	8	0	31	36	42	48	2-1/2"	1-PC
24"	24"	16	13	0	41	48	54	60	2-1/2"	1-PC
24"	30"	14	12-1/4"	12-1/2"	8	51	57	63	2-1/2"	2-PC
30"	36"	14	14-1/2"	17	9	60	72	84	2-1/2"	2-PC
36"	42"	12	17	11	10-1/2"	84	84	96	2-1/2"	2-PC
42"	48"	12	18-1/2"	20	12	78	90	90	2-1/4"	2-PC

END SECTION

12" # INV. 876.17
12" MIN. (TYP.)
ANTI-FLOATATION SLAB
6" POURED CONCRETE
12" COMPACTED PEA GRAVEL

STORMWATER OVE

H:\Users\Development\114162-0047 - Hwy Range Drawings\Design Drawings\11405-0047 SITE DETAILS.dwg 12/29/2015 10:02 AM



Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted.

Luminaire Schedule			
Symbol	Qty	Label	Arrangement
	32	A	D180° 2RTD